



Niall J. O'Brien
Also Member of Pennsylvania Bar

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August 19, 2021

Via Overnight Delivery

Scarlett S. Doyle, P.P.
Planning Board - Bridgewater Township
Municipal Building
100 Commons Way
Bridgewater, NJ 08807

Archer & Greiner, P.C.
One Centennial Square
Haddonfield, NJ 08033
856-795-2121 Main
856-795-0574 Fax
www.archerlaw.com

**Re: New Jersey American Water Company, Inc.
Application for Site Plan Approval and Bulk Variance Approval
Raritan Millstone WTP Facility Improvements
Polhemus Road, Block 342, Lot 1, Bridgewater Township
Our File Number: NEW-248-057**

Dear Scarlett:

On behalf of our client, New Jersey American Water Company, Inc. (the "Applicant"), we are submitting the following in connection with the above-referenced Application:

1. Bridgewater Township Planning Board Site Plan Application Packet with attached Consent of Owner Form, Variance and Design Waiver Report, Application Checklist, and Addendum of Submission Waiver Requests – twenty one (21) copies;
2. Site Development Plans entitled "New Jersey American Water, RMWTP Ammonia Handling Facility Improvements," prepared by H2M Architects and Engineers, consisting of twelve (12) sheets, dated June 2021 and last revised June 24, 2021 – twenty one (21) signed and sealed sets;
3. Limited Environmental Impact Statement for 100 Polhemus Lane, Block 342, Lot 1, Township of Bridgewater, Somerset County, New Jersey, prepared by H2M Architects & Engineers, Inc., dated August 4, 2021 – twenty one (21) copies; and
4. Somerset County Planning Department Approval dated June 21, 2021 – twenty one (21) copies
5. W-9 Form for the Applicant – twenty-one (21) copies;
6. Ownership Disclosure Affidavit for the Applicant – twenty-one (21) copies;

7. Certified List of Property Owners received from Bridgewater Township Tax Assessor, dated April 4, 2021 - twenty-one (21) copies;
8. Certified List of Property Owners received from the Borough of Manville Tax Assessor, dated May 21, 2021 - twenty-one (21) copies;
9. Certified List of Property Owners received from the Borough of Bound Brook Tax Assessor, dated June 8, 2021 - twenty-one (21) copies; and
10. Certified List of Property Owners received from the Franklin Township Tax Assessor, dated June 2, 2021 - twenty-one (21) copies.

This Application for Preliminary and Final Site Plan Approval and Bulk Variance Approval provides for minor upgrades and improvements to an existing Public Utility Water Treatment Plant, that is owned by the Applicant, located on a 3.44 acre portion of an overall 130.69 +/- acre property, within a General Manufacturing (M-2) Zoning District, which is owned by the Applicant, located at 100 Polhemus Road, and more particularly known as Block 342, Lot 1 on the official Tax Maps of Bridgewater Township, Somerset County (the "Property").

The Applicant is a Public Utility regulated by the New Jersey Board of Public Utilities and the Property is currently the location of a the Raritan-Millstone Water Treatment Plant (WTP) which is permitted within the M-2 Zone as an Essential Service, which includes *the erection, construction, alteration or maintenance by public utilities of water transmission systems and other similar equipment reasonably necessary for the furnishing of adequate service by such public utility for the public health, safety or general welfare.*

The Raritan-Millstone WTP, is the Applicant's largest water production facility and a critical regional source of potable public water supply for all or parts of seven counties in central New Jersey. The WTP draws raw water from the confluence of the Raritan and Millstone Rivers producing an average of 132 million gallons per day (MGD) with a rated capacity of 155 MGD. In addition to providing water supply to the Applicant's own customers the WTP is also the source of supply for five (5) large bulk water sales connections, and two emergency interconnections with the cities of Newark and Trenton.

The Applicant is requesting Preliminary and Final Site Plan Approval for the minor improvements including a 696 square foot, two-story masonry addition with a below grade basement to the existing treatment building that is needed to accommodate storage and handling of aqueous ammonia disinfectant for the Applicant's water treatment processes. The proposed development is intended to convert the existing gaseous ammonia potable water disinfection

Scarlett S. Doyle, P.P.
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process to an aqueous ammonia disinfectant system, which represents a safety upgrade from the gaseous ammonia treatment currently in use. The additional building area will increase the developed land comprised of buildings percentage by only 0.012%, to 2.658%. The proposed building addition will be located on the north side of the existing treatment building, opposite from the Consolidated Rail Corp rail line and will allow full containment within the proposed building addition and will facilitate simple integration of the new system with the existing process piping.

In addition, because the onsite buildings are situated towards the front of the Property, Bulk Variance Approval is requested to allow a Front Yard Setback of 65 feet when a minimum 150 foot Front Yard Setback is required in the M-2 Zone by Ordinance.

We understand that this Application has now been scheduled for public hearing and will arrange for the publication and service of an appropriate Public Hearing Notice for the September 14, 2021, Planning Board hearing date, and will forward to you the Affidavit of Publication of the Courier Newspaper, together with our Affidavit of Service of that Notice prior to the hearing date.

In the meantime, if you have any questions, or require additional information, please do not hesitate to contact me.

Very truly yours,



NIALL J. O'BRIEN

NJO/clm
Enclosures

cc: Robert D. Biehler, PE, DBIA, Engineering Project Mgr. (via email w/ Application)
William Burr, IV, PE (w/encs.)
Scarlett Doyle, PP (Flemington, w/encs.)
Fire Chief Tom Scalera (w/encs.)
David Sheldon, P.E. (via email w/ Application)
Patrick K. Cole, P.E. (via email w/Application)
Robert W. Bucknam, Jr., Esquire (via email)

221853595v1

FORM # 1

**BRIDGEWATER TOWNSHIP
CONSENT BY OWNER**

I, New Jersey American Water Company, Inc., am the owner of the property known as Block (s) 332 342, Lot (s) 1 as shown on the Tax Map of Bridgewater Township. I am aware of the application that is to be filed with the Planning Board or Zoning Board of Adjustment in Bridgewater Township and I consent to said application. I permit the Board, its staff or other designated officials to enter onto the property which is the subject of this application and review existing and proposed site and development elements.

I further understand that there are fees that must be paid in accordance with said application. In the event that the applicant does not pay all of the appropriate fees including application and escrow fees as required for this application, I consent to have any unpaid balance placed as an added assessment against my property to be collected by the Tax Collector's office in due course.

New Jersey American Water Company, Inc.

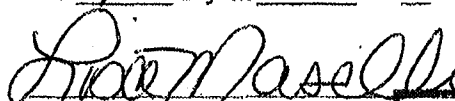
(This form must be signed and notarized, even if the applicant is the owner)

By: 

Signature of Owner
Robert D. Biehler, P.E., DBIA
Engineering Project Manager

Date: 5/4/2021

Sworn to and subscribed before me
this 4th day of May 20021



Notary Public

LISA MASELLI
NOTARY PUBLIC OF NEW JERSEY
Commission # 2058933
My Commission Expires 12/10/2024

SHALL BE PROVIDED UNDER SEPARATE COVER

FORM # 2**DISCLOSURE STATEMENT FOR CORPORATIONS AND PARTNERSHIPS
APPLYING FOR SITE PLAN AND SUBDIVISION APPROVAL****CORPORATIONS:**

Please indicate the following with respect to the Corporation:

NAME New Jersey American Water Company, Inc.ADDRESS OF PRINCIPAL OFFICE One Water Street, Camden, NJ 08102REGISTERED AGENT: NAME National Registered Agents, Inc., of NJADDRESS One Water Street, Camden, NJ 08102STATE OF INCORPORATION New JerseyIf other than New Jersey, is Corporation authorized to do business in New Jersey? N/AIf so, when was authorization obtained? N/A

List all stockholders controlling 10% or greater of stock: _____

American Water Works Company, Inc., owns 100% of the stock of New Jersey American Water Company, Inc.American Water Works Company, Inc., is publicly traded on the New York Stock Exchange**PARTNERSHIPS:**

Please indicate the following with respect to the partnership:

TRADE NAME N/A

ADDRESS OF PRINCIPAL OFFICE _____

NAMES AND ADDRESSES OF PARTNERS _____

VARIANCE AND DESIGN WAIVER REPORT**FORM # 4**

(SUBMIT WITH ALL APPLICATIONS)

APPLICANT NAME New Jersey American Water Company, Inc. DATE _____ADDRESS 120 Raider Boulevard, Hillsborough, New Jersey 08844PHONE #: (908) 482-0287 FAX #: Bob.Biehler@amwater.comLOT(S) 1 BLOCK(S) 342CURRENT ZONING DISTRICT M-2TOTAL SQUARE FEET OF ALL STRUCTURES 696 s.f.

	Ordinance Requirement	Existing	Propose	Variance Y or N
Improved Lot Coverage (all improvements)	.60 %	22 %	22.1 %	N
Floor Area Ratio (F.A.R.)	0.35	0.0265	0.0266	N
Lot Area	20 Acres	130 Acres	130 Acres	N
Lot Width	500 ft	2100 ft	2100 ft	N
Side Yard (one)	75 ft.	400 ft	400 ft	N
Side Yard (total of both)	175 ft.	1100 ft.	1100 ft.	N
Front Yard	150 ft.	50 ft.	65 ft.	Y (ENC)
Rear Yard	100 ft.	500 ft.	500 ft.	N
Building height and number of stories	45 ft./3 st.	<30 ft./2 st.	27 ft./2st.	N
Parking	No Requirement	115	115	N
ACCESSORY STRUCTURES				
Side yard	75	N/A (Principal Structure)		N
Rear yard	190	N/A(Principal Structure)		N
LIST OTHER VARIANCES (type)				
None				
LIST ALL DESIGN WAIVERS				
	None			

RECOMMENDATION:

Attach letters and other supporting documentation that applicant attempted to purchase adjacent land to make lot conforming.

Provide evidence that Variance will not be detrimental to the neighborhood and adjacent residences such as documentation that variance conforms to existing conditions in the area



THE TOWNSHIP OF BRIDGEWATER

100 COMMONS WAY / BRIDGEWATER, NJ 08807
PH 908-725-6300/FAX 908-725-4163

OFFICE OF THE TAX ASSESSOR

REQUEST FOR 200' RADIUS LIST OF CERTIFIED PROPERTY OWNERS

DATE _____ BLOCK 342 LOT 1
PROPERTY LOCATION 100 Polhemus
APPLICANT New Jersey American Water Company, Inc.
PICK-UP _____ TELEPHONE _____ EMAIL Nobrien@Archerlaw.com
MAIL TO Niall J. O'Brien, Archer & Greiner, P.C.
ADDRESS One Centennial Square
CITY Haddonfield STATE NJ ZIP 08033
PAID- CHECK # See enclosed Property Owner List CASH _____

MAIL TO: BRIDGEWATER TAX ASSESSOR'S OFFICE
100 COMMONS WAY
BRIDGEWATER, NJ 08807

PLEASE NOTE:

THE CHARGE FOR THIS LIST IS \$10.00 FOR FORTY (40) OR LESS PROPERTIES. EACH PROPERTY IN EXCESS OF FORTY (40) HAS AN ADDITIONAL .25-CENT CHARGE. IN ADDITION, AS PER SECTION § 94 OF THE CODE OF BRIDGEWATER TOWNSHIP, THE TOWNSHIP MAY CHARGE AN ADDITIONAL \$35.00 FEE PER HOUR FOR THE COST OF PREPARING A LIST OF CERTIFIED PROPERTY OWNERS

Our policy is that a certified list is not started until the check is received by our office. Once received, we will make every effort to get this list to you as soon as possible

**TOWNSHIP OF BRIDGEWATER
SOMERSET COUNTY, NEW JERSEY**

FORM # 3D

Application #: _____

Board File Name: _____

Date Filed: _____

(Do not write above this line)

APPLICATION: SITE PLAN

(With or Without Variances)

Please check type of application:

_____ Conceptual Site Plan	<input checked="" type="checkbox"/> Conditional Use Approval	_____ Minor Site Plan
<input checked="" type="checkbox"/> Preliminary Major Site Plan	<input checked="" type="checkbox"/> Final Major Site Plan	<input checked="" type="checkbox"/> C-Variances
		_____ D-Variances

_____ Amend prior approval for Preliminary Site Plan. Date of prior approval (attach copy) _____

_____ Amend prior approval for Final Site Plan. Date of prior approval (attach copy) _____

Does this application constitute a new application? Yes

If not, please attach 24 copies of Site Plan previously submitted with resolution.

New Jersey American

Water Company, Inc.

Phone (908) 482-0287

Fax _____

1. Applicant's name _____

Email: Bob.Biehler@amwater.com

Address (mailing) 120 Raider Boulevard, Hillsborough, New Jersey 08844

2. Owner's name _____

New Jersey American Water Co.

Phone (908) 482-0287

Fax _____

Address (mailing) One Water Street, Camden, NJ 08102

Email: Bob.Biehler@amwater.com

3. Attorney's name _____

Niall J. O'Brien, Archer & Greiner, P.C.

Phone 856-616-2696

Fax 856-673-7160

Address (mailing) 33 E. Euclid Avenue, Haddonfield, NJ 08033

Email: Nobrien@Archerlaw.com

4. Engineer's name _____

Alan P. Hilla Jr., PE, PP, CME,

Phone (732) 348-7009

Fax _____

Address (mailing) H2M, 4810 Belmar Boulevard, Wall, NJ 07753

Email: Ahilla@H2M.com

5. Name of Development NJAWC Raritan Milsone WTP, Ammonia Handling Improvements

Block(s) 342

Lot(s) 1

Tax Sheet 72

6. Street on which property lies including location of nearest intersection

100 Polhemus / Southern end of Bafflehead Road

7. Present use Public Utility Essential Service Potable Water Treatment Plant

8. Proposed Use Ammonia Handling Improvements to existing WTP

9. Zoning District M-2

10. Area in acres of any additional adjoining land owned by owner or applicant

N/A

11. Amount of lot area with slopes 30 percent or greater None

Slopes 20-29 percent None Slopes 11-19 percent None

Slopes 0-10 percent 130 Acres

12. Total land available for development (126-266) Greater than 0.23 acres which is the limit of disturbance

13. Amount of lot area in floodway 0; flood fringe 0; wetlands Unknown

14. Waivers requested from the following sections of the Township Land Use Code,

Chapter 126 Full Survey of Site; Parking Calculations; Landscaping/Street Trees; Conservation Plan; Exterior Lighting;

Signage (None Proposed); Stormwater Control; Environmental Impact Statement; Soil Erosion/Sediment Control (if necessary)

15. List all plans, exhibits, documents, reports, significant letters, and written decisions from other governmental agencies which constitute this application. Please indicate the title of plan or document scale, number of sheets, date of preparation and name and license number of preparer if appropriate.

NOTE: ALL EXHIBITS PRESENTED AND MARKED AT THE HEARING MUST BE CLIPPED (NOT MOUNTED WITH ADHESIVE) TO THE FOAM BOARD.

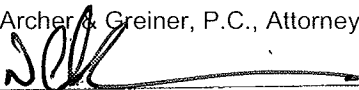
All exhibits will be kept in the application file and the foam boards will be returned at the meeting.

Please see attached submission letter.

Archer & Greiner, P.C., Attorneys for Applicant

By:

X



August 15, 2021

Signature of person preparing application

Date

Naill J. O'Brien, Esquire

BRIDGEWATER TOWNSHIP

SITE PLAN CHECKLIST

Application #: 21-022 Applicant New Jersey American Water Co. Date October 10, 2019

Applicant Bwt.

X	
X Application now deemed complete	
X	
N/A	
X	
X	
X	
X	

I. Twenty four (24) sets of the application, checklist, fee schedule computations and all supporting documentation and Site Plan. **All documents submitted must be collated into (24) sets.**

II. OPTION: You may choose to submit (3) full sets of documents for completeness review only. When the documents submitted comply with the submission requirements, we will notify you to submit the other (21) sets in order to be deemed complete. This option is made available to applicants in an effort to save resources expended on numerous plans that may need to be revised and resubmitted.

III. All fees must be paid.

Application fee: \$ 3,300.00 Escrow Fee: \$ 10,000.00

(Fee Schedule with calculations must be submitted, including a signed W-9)

IV. If the application involves a request for a *subdivision or site plan* including land development of more than 50 dwelling units or 50,000 square feet of non-residential building space or all major subdivisions or site plans within 500 feet of a municipal border or critical natural resources like primary or secondary streams identified in the County Open Space Plan, that may affect neighboring jurisdictions, ***you must submit a copy of the full application packet including plans to Somerville Borough and Raritan Borough and provide proof of submission/mailling.***

V. Provide proof of submission of full application including plans to the local Fire Department. You may contact the Fire Official to confirm correct Fire Department for your Block and Lot at (908) 725-6300 ext. 263. List name and address you submitted to:

Fire Department: Chief Fire Marshall, Carl McAleer

Address: 100 Commons Way, Bridgewater

VI. Size of Map should be in accordance with the Map Filing Laws

VII. Scale not to exceed 1"=100'

VIII. Consent by Owner form: signed and notarized by owner even if the applicant is the owner

SITE PLAN SHALL CONTAIN THE FOLLOWING DATA:

X		1. A Key map of the site with reference to surrounding areas, zoning district(s) and existing street locations within 200' of property. Scale not less than 1"=800' (126-153A)
X		2. The North arrow, scale, block, lot, name and address of the owners of all contiguous land and of property directly across the street, and downstream 200 feet of the property, as shown by the most recent tax records of all municipalities in which such properties shall lie. (126-153B)
Partial Waiver is requested		3. Lot line dimensions, bearings and distances (126-153C)
X		4. Location of all buildings and structures, streets, easements, driveways, entrances and exits on the site and within 200 ft thereof. (126-153D) Structures to be removed should be indicated by dashed lines
X		5. Right-of-way width of existing road from the centerline. Pavement width measurements.
X		6. Location and dimensions of proposed buildings, structures, roads, driveways, parking areas with dimensions of each (126-153E)
X		7. Zoning Chart listing required, existing and proposed setbacks, height, lot area, improved lot coverage, and all information included in the schedule of land and area requirements. Graphic depiction is required.
X		8. Proposed building height setbacks, front, side and rear yard distances and required setbacks (126-153F). Buildings must identify square footage on each building for each floor
X	Waiver Requested for Trees	9. All existing physical features on the site and within 200 feet thereof, including streams, water courses, existing woodlands, and significant soil and hydrological conditions such as swamp, rock and water flows (126-153G). All existing trees as follows: Deciduous 12" dbh or greater; Non-Deciduous 8" dbh or greater; Dogwoods 4" dbh or greater
X		10. Topography showing existing and proposed contours at two foot intervals extending 200 feet off site. A reference bench mark shall be clearly designated (126-153H)
X		11. Parking and loading areas shall be indicated with dimensions for bays, aisles, stalls, curb radii, traffic islands and channelization. Indicate direction of traffic flow and sight easements, number of employees, total and maximum in one shift, proposed and required parking spaces. No driveway within ten (10) feet of property lines (126-153I)
X		12. Architectural building elevations including facade signs and entrances, materials, dimensions and height.
X		13. Improvements such as roads, curbs, bumpers and sidewalks shall be indicated with cross sections, design details and dimensions (126-153J).
Waiver Requested		14. Landscaping and buffering plan exhibit identifying existing and proposed trees, shrubs, bushes, ground cover and natural features such as boulders and root outcroppings. Indicate botanical and common names of plants and trees, dimensions at time of planting and

		maintenance plans (126-153L). The landscaping plan shall be in accordance with the Landscape Ordinance.
Waiver Requested		15. Street trees planted at 50' intervals along public rights of way and in accordance with the Landscape Ordinance.
Waiver Requested No Landscaping Proposed		16. Specify on landscape plan the quantity of landscaping by type proposed to be planted on site
Waiver Requested		17. Has at least 5% of the parking area been landscaped? (126-191 B.16)
Waiver Requested		18. Indicate on the landscape plan, existing and proposed fences, their heights and type (126-194).
Waiver Requested		19. Conservation Plan Exhibit is to be submitted showing the proposed methods of protecting trees and growth before and after construction. Techniques include fences, berms, tree wells, etc (126-191 and 197).
X		20. Proposed exterior lighting plan exhibit showing location of all lights, type of light, manufacturer specification sheet, intensity in foot candles on a point-to-point plan, methods proposed to reduce off-site glare on adjacent property and roads, type and height of light standard and pole (126-153M and 190).
Waiver requested. Limited information shown		21. Survey of property signed and sealed by a Licensed Surveyor
N/A		22. Proposed sign plan exhibit for all freestanding and facade signs showing the specific design, letter style, color, construction and materials, location, size, height above grade or below roof line, type of standard, illumination (123-153N and 195).
X		23. Required legend on Site Plan for endorsement by Board Engineer, Board Chairman and Board Secretary (126-1530)
		SITE PLAN MUST BE ACCOMPANIED BY THE FOLLOWING:
X		24. Twenty four (24) copies of the Environmental Impact Statement report. Waiver cannot be granted if slopes on the site exceed 15% or if property is within a flood plain (Part II article 25 126-128 through 272)
N/A		25. Hillside Development exhibits (Part II article 29, 126-264 through 267)
		a) Density computations (126-266)
		b) Maximum Impervious surfaces (126-267)
Waiver Requested		26. Stormwater runoff control plan with introductory narrative
X		a) Impervious coverage
X		b) Elevations adjacent to existing and proposed building
X		c) Elevations for entire site

X	
X	
Waiver Requested	
X	
X	
X	
Waiver Requested	
Waiver Requested	
X	
X	
X	
X	
N/A	
X	

- d) Elevations on adjacent property where drainage may impact
- e) Location and elevation of sidewalks, adjacent road centers, dividing islands, curbs, gutters, driveways
- f) Run-off computations for existing and proposed conditions
- g) Size, slope, direction of flow, top, invert elevations of all existing and proposed storm drains, drainage ditches, water courses (cross sections, for swales, channels)
- h) Roof leader size and discharge locations
- i) Location, capacity, outlet details, typical section through basin calculations for storage capacity, inflow hydrograph for stormwater detention/retention facilities
- j) Drainage area map, calculations showing drainage from contributing area prior to and after development
27. Soil erosion and sediment control plan exhibit (Article 36) Identify location of all soils on property.
28. Written description of a request for variance, conditional use or special permit.
29. Written document or request to waive submission of any required Site Plan elements or exhibits. (The applicant must document why a waiver of required exhibits is in the public interest, consistent with the Master Plan, the overall intent of the Land Use Ordinance, and good Development and Environmental practice) (126-156).

FOR PRELIMINARY SITE PLAN

30. Proof in the form of a letter of transmittal that a copy of the Application was sent to the County Planning Board.
31. The signature block must be located directly above the title block in the lower right hand corner of the plans. Plans are considered folded correctly when the title block and signature block are visible without opening the plans. Full name and title of the chairman, secretary and engineer must be lettered on the plan immediately below the signature line.

FOR FINAL SITE PLAN

In addition to all items listed above, please include the following;

32. Engineer's estimate of the cost of proposed improvements (sanitary sewer, drainage, pavement, landscaping) and an inspection fee of 6% of those costs
33. The signature block must be located directly above the title block in the lower right hand corner of the plans. Plans are considered folded

X	

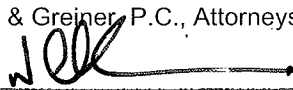
correctly when the title block and signature block are visible without opening the plans. Full name and title of the chairman, secretary and engineer must be lettered on the plan immediately below the signature line.

34. The signature block must be located directly above the title block in the lower right hand corner of the plans. Plans are considered folded correctly when the title block and signature block are visible without opening the plans. Full name and title of the chairman, secretary and engineer must be lettered on the plan immediately below the signature line.

Archer & Greiner, P.C., Attorneys for Applicant

By:

X



May 1, 2021

Signature of person preparing checklist

Date

Naill J. O'Brien, Esquire

The applicant may request that one or more of the submission requirements be waived; however, the request must be in writing and state the reason for the waiver request. If the submission waiver is honored during completeness review, the Board still has the right to request the same information during the hearing process in addition to any other information they deem necessary for proper review of the application.

NOTICE REQUIREMENTS:

The following proof of satisfying the notice requirements must be filed with the Land Use Administrator in the Planning Department a minimum of 48-hours prior to the hearing date:

1. Affidavit of Service.
2. Copy of the notice served.
3. Certified list of property owners within 200 feet and others served with manner of service
4. Certified Mail receipts stamped by the USPS
5. Affidavit of publication from the newspaper in which the notice was published.

ADDENDUM OF WAIVER REQUESTS
New Jersey American Water Company, Inc.
Application for Site Plan Approval and Bulk Variance Approval
Raritan Millstone WTP Facility Improvements
Polhemus Lane, Block 342, Lot 1, Bridgewater Township

As set forth in the submission letter in connection with this Application, the Raritan Millstone Water Treatment Plant (RM WTP) occupies only a 3.44 acre portion of an overall 130 acre property and the development proposed in connection with this Application is limited to a 696 foot building addition. Due to the minor nature of the proposed development, the Applicant is requesting Waivers of certain submission requirements as set forth on the Application Checklist.

- Full Survey/Site Plan of the site – The RM WTP is a legacy facility that spans back nearly 100 years with limited documentation available. The proposed building addition would occupy 696 square feet (0.012%) of previously developed (paved) land. As the proposed addition will occupy a small portion of a previously developed surface at the north-central portion of the site, the Applicant requests a Waiver from the requirement for the provision of a full survey and/or Site Plan for the 130 acre tract.
- Parking calculations – The RM WTP is a self-contained, private facility and not open to the public, so the provision of parking is really to support the operations staff on-site at any time. This is easily accomplished at a 130 acre site. The proposed building addition will not generate any new employees or parking requirements and, therefore, a Waiver is requested from the requirement for the provision of a parking locations and parking calculations.
- Landscaping – The proposed building addition at the RM WTP will occupy a currently paved portion of the site, and is designed to complement the architecture of the existing structure. The proposed building addition is also only 696 square feet in size and is not bordering any land containing landscaping. For those reasons, no new landscaping is proposed in connection with this Application and a Waiver is requested from the requirement for the provision of a Landscape Plan.
- Street Trees – The RM WTP site is oddly configured at the end of Bufflehead Road with virtually no opportunity for street tree installation. The proposed building addition also does not include the construction of a new street. Coupled with the minor nature of the proposed development, a Waiver is requested from the requirement for the provision of street trees if necessary.
- Conservation Plan Exhibit – The proposed building addition at the RM WTP will only occupy 696 square feet of a currently paved portion of the site and will disturb no additional natural features. As there is very little to conserve in the area of the proposed addition through the construction process, a Waiver is requested from the requirement for the provision of a Conservation Plan Exhibit if necessary.
- Exterior Lighting - The proposed building addition will only feature building mounted lighting fixtures as required by code at the access points of the building. As this sort of lighting is innocuous and required by code, a Waiver is requested from the requirement for the provision of an exterior Lighting Plan.
- Signage – No new signage is proposed in connection with this Application and, therefore, a Waiver is requested from the requirement for the provision of existing signage details and locations if necessary.
- Stormwater Control Plan - The proposed building addition at the RM WTP will only occupy 696 square feet of a currently paved portion of the site, and will not generate any more stormwater than

is currently generated. This is a portion of the site where stormwater control measures are already in place. Further, because the proposed disturbance does not exceed any development thresholds with respect to NJDEP Storm Water Regulations, a Waiver is requested from the requirement for the provision of a Stormwater Control Plan.

- Environmental Impact Statement - The proposed building addition at the RM WTP will only occupy 696 square feet of a currently paved portion of the site within the fully developed portion of the property occupied by the RM WTP, and will not generate any significant environmental impacts or disturb any natural features. Accordingly, a Waiver is requested from the requirement for the provision of an Environmental Impact Statement.
- Soil Erosion and Sediment Control Plan - The proposed building addition at the RM WTP will only occupy 696 square feet of a currently paved portion of the site, and will not generate any more stormwater than is currently generated or displace any natural features. The proposed disturbance associated with the addition will be significantly less than 5,000 square feet and, therefore, to the extent necessary, a Waiver is requested from the requirement for the provision of a Soil Erosion and Sediment Control Plan is felt to be unnecessary.

Environmental Impact Statement

For

100 Polhemus Lane
Block 342, Lot 1
Township of Bridgewater
Somerset County
New Jersey

Prepared For:

Township of Bridgewater
100 Commons Way
Bridgewater, NJ 08807

Prepared By:

H2M Architects & Engineers, Inc.
4810 Belmar Blvd, Suite 201
Wall Township, NJ 07753

H2M Project No. NJAW2001

August 4, 2021

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I. INTRODUCTION

This report is prepared as a submission requirement to supplement the plans titled, "RMWTP Ammonia Handling Facility Improvements", prepared by H2M Architects & Engineers, dated August 4, 2021. The purpose of this report is to address the existing conditions and to set forth the environmental impacts as a result of the proposed project. This report is prepared in compliance with the Environmental Assessment Executive Order No. 215 of 1989 executed by the State of New Jersey.

II. DESCRIPTION OF PROPOSED PROJECT

The subject property is owned by New Jersey American Water, and is located on Block 342, Lot 1 in Bridgewater, New Jersey. This parcel is a surface water treatment plant, permitted to treat 155 million gallons of water per day. The overall size of the site is approximately 86 acres.

The purpose of this project is to convert the treatment plant from using anhydrous ammonia in its treatment process to 19% aqueous ammonia. 19% aqueous ammonia is a safer chemical and will be contained within a new chemical building proposed on site. Ammonia is used in the disinfection process of potable water.

The location where the new building is proposed to be constructed is on the north side of the plant, located adjacent to an existing building. The proposed building will be approximately 700 ft² in size. This building is proposed to be located in an area that is already improved and is therefore impervious and with no landscaping.

In order to construct the new building, it is proposed that the contractor install helical piles to support the building's foundation, and subsequently to construct the foundation and building structure. After the building is constructed, the interior equipment will be installed, including the bulk ammonia storage tanks. No traffic control is proposed for this project since the entire project will be taking place on private property. Construction equipment will be delivered to the site via a County roadway with relatively low levels of traffic. Typical levels of noise and dust emissions are expected during the construction phase, however the construction site is far removed from any neighboring properties or structures. Temporary sanitation facilities will be provided on site by the contractor.

After construction, the building will operate as a 19% ammonium hydroxide handling facility. Ammonium hydroxide will be stored, pumped, dosed, and sent out to various injection points throughout the Raritan-Millstone water treatment plant campus. The building is designed to house a maximum of 16,200 gallons of 19% aqueous ammonia in bulk tanks, with a smaller 500 gallon tank used to store the chemical used in one day. The building will have minimal emissions, and is equipped with interior hose bibbs for the use of potable water when necessary.

III. DESCRIPTION OF ENVIRONMENT PRIOR TO IMPLEMENTATION OF PROJECT

The building is proposed to be constructed in an area that is already developed. The grounds are paved with a combination of concrete and bituminous asphalt, and the building itself will be located immediately adjacent to an existing building. There is no wildlife located in this area due to its developed nature.

The existing building in this area houses water filtration beds and is used as part of the water treatment process. West of the proposed building is a fluoride storage tank, which is located outdoors within its own chemical containment area. This area is not proposed to be disturbed or modified.

IV. PROBABLE ENVIRONMENTAL IMPACTS OF THE PROJECT IF IMPLEMENTED

a. Land

The building is proposed to be placed in an area currently covered in impervious pavement. No landscaping or other changes to this area are proposed. Therefore, there will be no additional impacts to the land.

b. Water

The building is proposed in an area not deemed to be a wetland. The water treatment plant campus is surrounded by a floodwall that would prevent the infiltration of water in this site. Therefore, there will be no additional impacts to water or wetlands. The surrounding waterways which the campus ultimately drains to will be protected through the use of soil erosion and sediment control measures.

c. Air

During construction, there will be some noise and dust pollution caused by routine construction work. This noise and dust will be controlled during construction by working during hours dictated by New Jersey American Water and the State of New Jersey.

The building itself shall meet applicable emission standards and regulations contained in the State Air Pollution Control Code. There will be no emissions of hazardous chemicals from the building, and the building will remain mostly unoccupied.

d. Aquatic and Terrestrial Wildlife

No loss of habitat for aquatic or terrestrial wildlife is anticipated since the construction of the proposed building is on existing developed land and is not currently home to any wildlife. Waterways will be protected through the use of soil erosion and sediment control devices.

e. Social and Economic

This project will not have any socio-economic effects, since it is located on private property sufficiently distanced from any other commercial or residential areas.

f. Solid Waste

During construction, solid waste will be properly disposed of by the contractor at an off-site location.

After construction is complete and the facility is in service, solid waste generated in this building will be handled by New Jersey American Water. This waste will be disposed of

properly, along with the other waste generated by New Jersey American Water. Solid waste bins will be provided within the building for any waste generated. No hazardous wastes are anticipated to be generated by the proposed ammonia handling facility.

g. Aesthetics

The building is proposed to have a façade constructed from brick, matching the existing buildings located on site. This will not change the aesthetics of the site.

h. Sustainability

Construction of this building will utilize an area that is already developed, to reduce the amount of new land that would have been used.

A reflective white roof will be used to limit the cooling needs of the building.

V. METHODS OF PROMOTING APPROPRIATE ENVIRONMENTAL DESIGN AND METHODS OF MITIGATING ADVERSE ENVIRONMENTAL IMPACTS

a. Site Location

The site chosen for the proposed building has already been developed. By utilizing this site, no additional impervious land would be generated, protecting existing pervious land from development.

b. Air Quality Through Control Apparatus and/or Controlled Combustion Process

No impacts to air quality are anticipated.

c. Water Quality Through Treatment of Wastewater and/or Eutrophication Control

No wastewater discharge is proposed to exit this building.

d. Erosion and Sedimentation Control Measures

Proper erosion and sedimentation control measures shall be provided during construction of the new building. After construction, the building will be surrounded by pavement, and will not experience any soil erosion.

e. Storm Water Runoff Control Measures from Paved Areas

Stormwater runoff is controlled using a nearby valve, which is closed during chemical delivery. Runoff is diverted to this valve and is connected to a stormwater collection system, which handles the stormwater as necessary. No additional paved areas are proposed with this project, and will not require additional stormwater runoff control measures.

f. Closure of Abandoned Well if Any Exist on Site

No wells exist on this site, therefore this is not applicable.

g. Measures to Conserve Water

Minimal consumption of water is expected; use is limited to periodic cleaning of equipment and testing of emergency shower devices.

h. Dust Control Measures

Dust will be controlled via water spray during construction activities which generate appreciable amounts of airborne particulate.

i. Noise Control Measures

Construction activities will be contained within hours dictated by New Jersey American Water and the State of New Jersey to minimize noise pollution. Noise generated within the building after construction will be contained within the building and will not cause excess noise pollution. Further, the remoteness of the overall campus means that the only persons which may experience excessive noise are those who are working on the treatment plant campus.

j. Energy Conservation Measures

The contractor and all employees will be instructed to conserve energy throughout the construction and use of the building. The building will be constantly operating, as the pumps located within the building will be running.

LED lighting fixtures are specified for inside and outside of the building.

k. Traffic Control Measures

The building is to be constructed in a private facility and will not require traffic control.

l. Recycling Potential

There is minimal opportunity for recycling during the construction phase of this project. Materials will be disposed of properly off-site by the contractor.

m. Establishment of Buffer Zones, Selective Clearing, and/or Landscaping

The building is to be constructed in an area that is already developed, so this is not applicable. No landscaping is proposed, as the area surrounding the building is fully paved by necessity; this area of the campus is a chemical delivery containment area.

n. Protective Measures for Aquatic and Terrestrial Plants and Animals

The building is to be constructed in an area that is already developed, so this is not applicable.

o. Architectural Techniques to Blend Structures with the Surrounding Area

The building is proposed to have a brick façade to match the surrounding existing buildings. This will allow the proposed building to blend with the existing structures.

p. Monitoring Programs for Emissions and Discharges

No emissions or discharges are anticipated for this facility, and therefore no monitoring program is required.

q. Contingency Plans and Emergency Procedures

In an emergency situation where one of the ammonia bulk tanks fails, the bulk tanks are located within a chemical containment basin that will not allow it to exit the building. The chemical would then be removed via a sump pump and disposed of properly.

r. Employee Education and On-Going Inspection Program

The equipment located within the building is to be visually inspected daily to ensure it is working properly. Maintenance is dictated in the separate manuals for each piece of equipment, as well as detailed in the facility's written Standard Operating Protocols (SOP's).

VI. AVOIDANCE OF ADVERSE ENVIRONMENTAL IMPACTS

The proposed project has been designed to conform to the codes and standards set by the State of New Jersey. While sound engineering and construction practices will be used to minimize any environmental impacts, there are some impacts that are unavoidable. Temporary impacts will occur during construction. These will include dust and noise associated with the normal construction process. An approved soil erosion and sediment control plan will help to minimize these impacts.

VII. ALTERNATIVES TO THE PROPOSED PROJECT

a. No Action Taken

New Jersey American Water would continue to use anhydrous ammonia, a chemical much more dangerous than 19% aqueous ammonia, to treat the water flowing through the plant. Anhydrous ammonia is stored and delivered in pressurized vessels, which, if it were to fail, could release hazardous chemical into the environment.

Not taking action is not recommended for New Jersey American Water. By not taking action, they would continue to use a hazardous chemical, which could harm both employees and the environment. By constructing the new building and converting the 19% ammonium hydroxide, New Jersey American Water will provide a safer workplace for their employees, and reduce the risk to the environment of an anhydrous ammonia release.

VIII. CONCLUSION

The proposed project has been designed using established engineering practices in conformance with the Township of Bridgewater zoning ordinances as well as all state and federal regulations as applicable. Short term impacts will be minimized using good construction practices. Long term impacts have been minimized to provide a balance in developing the site in accordance with

allowable zoning requirements. Overall the project provides many benefits that outweigh any potential impacts.



COUNTY OF SOMERSET PLANNING BOARD

County Administration Building
20 Grove Street, P.O. Box 3000
Somerville, New Jersey 08876-1262
(908) 231-7021 • Fax (908) 707-1749
PlanningBd@co.somerset.nj.us
www.co.somerset.nj.us



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Vice Chairman

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Erika Inocencio

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Shanel Y. Robinson
Commissioner Director

Paul Drake
Commissioner / Liaison

Matthew D. Loper
County Engineer/
Board Secretary

ALTERNATE MEMBERS

Ashok Rakhit
1st Alternate

Vacant
2nd Alternate

Adam Slutsky
County Engineer Alternate

STAFF

Walter Lane, AICP/PP
Director of Planning

Joseph DeMarco, Esq.
Deputy County Counsel
for Planning

Cynthia Mellusi
Office Manager

June 21, 2021

Alan Fross, Chairman
Bridgewater Twp. Planning Board
100 Commons Way
Bridgewater, NJ 08807

Re: NJ AMERICAN WATER RARITAN MILLSTONE WTP
BLOCK 342, LOT 1 /POLHEMAS LANE (BUFFLEHEAD RD)/BW 528:002-21S

Dear Mr. Fross,

This office and the Office of the County Engineer have reviewed the information submitted for the above referenced development project. The applicant (New Jersey American Water Company) is constructing a two-story 696-square foot building and related site improvements to accommodate the storage and handling of aqueous ammonia disinfectant for water treatment processes at their Raritan-Millstone Water Treatment Plant. The 130.69-acre property is accessed by a driveway to Polhemus Lane (CR 675). The reviewed information consists of a plan entitled "New Jersey American Water RMWTP Ammonia Handling Facility Improvements" dated May 13, 2021. H2M Architects & Engineers, Inc. prepared the plan.

Since this application does not adversely affect a County facility, the Somerset County Planning Board approves this project.

As per the Somerset County Land Development Review Resolution fee schedule, based on the information submitted for this development application, the \$150.00 review fee submitted with the application is not applicable to this project and therefore the review fee is being returned to the applicant.

This report reflects comments from the Office of the County Engineer and the County Planning Board. If there are any questions, please contact the appropriate individual below.

Sincerely,

James P. Ruggieri, AICP/PP
Principal Community Planner

Thomas Tabatneck
Engineer II, Land Development Section

c: Robert Biehler, Engineering Project Mgr, NJ American Water Co. Inc. bob.biehler@amwater.com
Patrick Cole, H2M Architects & Engineers PCole@H2M.com
Niall O'Brien, Esq. nobrien@archerlaw.com
Scarlett Doyle, Bridgewater Twp Planner, doyle45@comcast.net
Bridgewater Twp. Land Use & Planning Admin. planning@bridgewaternj.gov
Steve Rodzinak, Bridgewater Twp Superintendent/Const. Official srodzinak@bridgewaternj.gov
Maria Schaumburg, Municipal Services Dept mschaumburg@bridgewaternj.gov
William Burr IV, Township Engineer WBurr@bridgewaternj.gov

- Mission Statement -

The County of Somerset is committed to excellence and innovation in public service, promoting the well-being of all residents and communities by providing effective, efficient and responsive leadership.

Somerset County Is An Equal Opportunity Employer

Request for Taxpayer Identification Number and Certification

Give Form to the
requester. Do not
send to the IRS.

► Go to www.irs.gov/FormW9 for instructions and the latest information.

Print or type.
See Specific Instructions on page 3.

1 Name (as shown on your income tax return). Name is required on this line; do not leave this line blank.

New Jersey-American Water Company, Inc.

2 Business name/disregarded entity name, if different from above

3 Check appropriate box for federal tax classification of the person whose name is entered on line 1. Check only **one** of the following seven boxes.

☐ Individual/sole proprietor or single-member LLC ☒ C Corporation ☐ S Corporation ☐ Partnership ☐ Trust/estate

☐ Limited liability company. Enter the tax classification (C=C corporation, S=S corporation, P=Partnership) ►

Note: Check the appropriate box in the line above for the tax classification of the single-member owner. Do not check LLC if the LLC is classified as a single-member LLC that is disregarded from the owner unless the owner of the LLC is another LLC that is **not** disregarded from the owner for U.S. federal tax purposes. Otherwise, a single-member LLC that is disregarded from the owner should check the appropriate box for the tax classification of its owner.

☐ Other (see instructions) ►

4 Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3):

Exempt payee code (if any) _____

Exemption from FATCA reporting code (if any) _____

(Applies to accounts maintained outside the U.S.)

5 Address (number, street, and apt. or suite no.) See instructions.

1 Water Street

6 City, state, and ZIP code

Camden, New Jersey 08102

7 List account number(s) here (optional)

Requester's name and address (optional)

Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the instructions for Part I, later. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN*, later.

Note: If the account is in more than one name, see the instructions for line 1. Also see *What Name and Number To Give the Requester* for guidelines on whose number to enter.

Social security number

____ - ____ - _____

or

Employer identification number

2 2 - 1 5 4 6 6 4 2

Part II Certification

Under penalties of perjury, I certify that:

- The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
- I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
- I am a U.S. citizen or other U.S. person (defined below); and
- The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

Certification instructions. You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions for Part II, later.

Sign
Here

Signature of
U.S. person ►

[Signature]

Date ► March 30, 2021

General Instructions

Section references are to the Internal Revenue Code unless otherwise noted.

Future developments. For the latest information about developments related to Form W-9 and its instructions, such as legislation enacted after they were published, go to www.irs.gov/FormW9.

Purpose of Form

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS must obtain your correct taxpayer identification number (TIN) which may be your social security number (SSN), individual taxpayer identification number (ITIN), adoption taxpayer identification number (ATIN), or employer identification number (EIN), to report on an information return the amount paid to you, or other amount reportable on an information return. Examples of information returns include, but are not limited to, the following.

- Form 1099-INT (interest earned or paid)

- Form 1099-DIV (dividends, including those from stocks or mutual funds)
- Form 1099-MISC (various types of income, prizes, awards, or gross proceeds)
- Form 1099-B (stock or mutual fund sales and certain other transactions by brokers)
- Form 1099-S (proceeds from real estate transactions)
- Form 1099-K (merchant card and third party network transactions)
- Form 1098 (home mortgage interest), 1098-E (student loan interest), 1098-T (tuition)
- Form 1099-C (canceled debt)
- Form 1099-A (acquisition or abandonment of secured property)

Use Form W-9 only if you are a U.S. person (including a resident alien), to provide your correct TIN.

If you do not return Form W-9 to the requester with a TIN, you might be subject to backup withholding. See What is backup withholding, later.

OWNERSHIP DISCLOSURE AFFIDAVIT

STATE OF NEW JERSEY :

COUNTY OF CAMDEN :

I, STEPHEN R. BISHOP, having been duly sworn according to law, hereby depose and say as follows:

1. I am the Assistant Secretary of New Jersey-American Water Company, Inc. (the "Company"), a New Jersey public utility corporation, having its principal offices at One Water Street, Camden, New Jersey 08102.
2. I am authorized on behalf of the Company to submit this Affidavit regarding any holders of a 10% or more interest in the stock of the Company.
3. The following entity owns 10% or more of the common stock of New Jersey-American Water Company, Inc.:

American Water Works Company, Inc.
One Water Street
Camden, New Jersey 08102


4. American Water Works Company, Inc. is publicly traded on the New York Stock Exchange.
5. The name and address of the registered agent of the Company is:

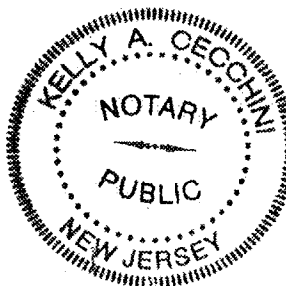
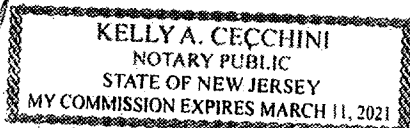
National Registered Agents, Inc. of NJ
100 Canal Pointe Blvd.
Suite 108
Princeton, NJ 08540

6. All of the foregoing information is true and accurate as of the date hereof to the best of my knowledge, information and belief.


STEPHEN R. BISHOP

SWORN TO AND SUBSCRIBED
before me this 25th day
of March, 2019.


Notary Public





THE TOWNSHIP OF BRIDGEWATER

100 COMMONS WAY / BRIDGEWATER, NJ 08807
PH 908-725-6300/FAX 908-725-4163

OFFICE OF THE TAX ASSESSOR

April 1, 2021

Niall J. O'Brien
Archer & Greiner, P.C.
One Centennial Square
Haddonfield, NJ 08033

Re: Bridgewater 200' Radius of Certified Property Owners for
Block 342 Lot 1

Dear Niall J. O'Brien,

Enclosed please find the certified list of property owners within 200 feet of the above referenced property. In accordance with the Township of Bridgewater land use code, Article VIII, Sec. 126-54, I certify that to the best of my knowledge the enclosed list is accurate, and complete in compliance with N.J.S.A. 40:55D-12. Please note only those utilities that wished to be noticed are listed.

Sincerely,

Anthony DiRado

Anthony DiRado
Tax Assessor's Office

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS
340 2	EASTON TURNPIKE	4B	AMER.CYAN.% PFIZER INC-INDIRECT TAX 100 ROUTE 206 NORTH PEAPACK, NJ 07977
340 3	1 STS DRIVE 345/1,347/3	4B	SOMERSET TIRE SVSINC&MAVIS TIRE SVS 358 SAW MILL RIVER ROAD MILLWOOD, NY 10546
340 4	AMERICAN CYAN/RIVER	5A	CONSOLIDATED RAIL CORP % TAX DPMT PO BOX 8499 PHILADELPHIA, PA 19101.8499
341.01 1	AMERICAN CYAN/RIVER	5A	CONSOLIDATED RAIL CORP% TAX DEPT PO BOX 8499 PHILADELPHIA, PA 19101
341.02 1	AMERICAN CYAN/RIVER	5A	CONSOLIDATED RAIL CORP % TAX DPT PO BOX 8499 PHILADELPHIA, PA 19101.8499
342 1	100 POLHEMUS	4B	ELIZ. WTR CO%NJ-AM.WTR CO-GEN TAX 1 WATER ST. -LISA MASELLI CAMDEN, NJ 08102
342 2	EASTON TURNPIKE 343/1	1	AMER.CYAN.% PFIZER INC-INDIRECT TAX 100 ROUTE 206 NORTH PEAPACK, NJ 07977
9990 1	COUNTY ROAD	15C	COUNTY OF SOMERSET PO BOX 3000 SOMERVILLE, NJ 08876.1262
9990 2	STATE HIGHWAY	15C	STATE OF NJ DOT 1035 PARKWAY AVE EWING, NJ 08618.2309
9990 3	TOWNSHIP	1	CABLEVISION % CRAIG MCLEOD 275 CENTENNIAL AVE PISCATAWAY, NJ 08854.3909
9990 4	RECORD ONLY	1	NJ-AMERICAN WTR CO%GIS SPVS-D SHORT 1025 LAUREL OAK RD VOORHEES, NJ 08043.3506
9990 5	RECORD ONLY	1	PUBLIC SERVICE ELECTRIC & GAS 80 PARK PLZ # T6B NEWARK, NJ 07102.4109
9990 6	RECORD ONLY	1	SUNOCO PIPELINE LP/RIGHT OFWAY DEPT 525 FRITZTOWN RD SINKING SPRING, PA 19608.1509

CONTACT BOUND BROOK
FOR THE REMAINDER OF LIST

CONTACT MANVILLE
FOR THE REMAINDER OF LIST

CONTACT FRANKLIN TOWNSHIP
FOR THE REMAINDER OF LIST

BOROUGH OF MANVILLE

325 NORTH MAIN STREET, MANVILLE, NJ 08835

PHONE: (908) 725-9478

FAX: (908) 231-8620



REQUEST FOR 200' RADIUS PROPERTY OWNER LISTING

May 21 2021

Tracy P. Gilman
Legal Administrative Assistant to
Land Use Practice Group
Archer & Greiner, P.C.
One Centennial square
Haddonfield, NJ 08033

RE: Block 342 lot 1
100 Polhemus Road

Dear Ms. Gilman,

As requested, please find attached a listing of property owners within a 200' radius of the above property and a listing of all the utilities that service the Borough of Manville. Both property owners with 200' and all utilities servicing the Borough of Manville must be notified. The property owner's name and utilities are current as of the date of this listing.

The block and lot (s) listing of properties involved on the 200' radius have been provided by the Borough of Manville, Engineer.

Sincerely,

Lisa M. Gerickont

Lisa M. Gerickont, CTC
Borough of Manville

BOROUGH OF MANVILLE

325 NORTH MAIN STREET, MANVILLE, NJ 08835

PHONE: (908) 725-9478

FAX: (908) 231-8620



The following public utilities are serving the Borough of Manville

Borough of Manville
Sewer Utility
325 No. Main Street
Manville, NJ 08835
908-725-9478

Optimum of Raritan Valley
275 Centennial Avenue
CN 605
Piscataway, NJ 08855-6805
732-356-1300

NJ American Water Company
100 Laurel Oak Road
Voorhees, NJ 08043
800-272-1325

Verizon
540 Broad Street
Newark, NJ 07101
800-427-9977

Public Service Electric & Gas
PO Box 570
Newark, NJ 07101-570
800-436-7734

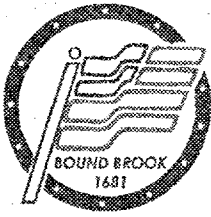
May 21, 2021
03:11 PM

BOROUGH OF MANVILLE
Block and Lot Listing

Page No: 1

Batch Id: BRIDGEWA

Identification	Name	Street Address	City, State	Zip	Property Location
Block: 193	ELIZABETHTOWN WATER CO C/O NJAM				
Lot: 54	PO BOX 2738-GEN.TAX				
Qual:	CAMDEN, NJ			08101	
	00 COOPER ST				
Block: 309	ELIZABETHTOWN WATER CO C/O NJAM				
Lot: 2	PO BOX 2738-GEN.TAX				
Qual:	CAMDEN, NJ			08101	
	REAR ADESA PROPERTY				



BOROUGH OF BOUND BROOK

230 Hamilton St. • Bound Brook, NJ 08805
(732) 356-0833 • Fax: (732) 356-8990
www.boundbrook-nj.org

Robert P. Fazen
Mayor

June 8, 2021

Ms. Gilman,

Attached is a list of the properties in Bound Brook within 200 feet of Block 342 Lot 1 (located in Bridgewater). Also attached is a list of all utility companies that need to be contacted.

Thank you.

Sincerely,

Mike Imbriaco, CTA
Assessor
Bound Brook
boundbrookassessor@yahoo.com
Office hours: Tuesday 5-8pm

ADJACENT PROPERTY LISTING
TAXING DISTRICT 04 BOUND BROOK BORO

APPLICANT: 200 Foot List Block 342 Lot 1 F
COUNTY 18 SOMERSET

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS
1 6	294-296 WEST MAIN STREET	2	12-18 CHURCH ST, LLC 330 ROYCEFIELD RD BLDG H HILLSBOROUGH, NJ 08844
1 37.01	WEST MAIN STREET	1	AMERICAN CYANAMID C/O INDIRECT TAX 100 ROUTE 206 NORTH PEAPACK, NJ 07977

UTILITIES SERVICING BOUND BROOK

Public Service Electric & Gas Co.
472 Weston Canal Rd
Somerset, NJ 08873

Verizon
PO Box 4833
Trenton, NJ 08650

New Jersey American Water
989 Lenox Dr, Suite 224
Lawrenceville, NJ 08648

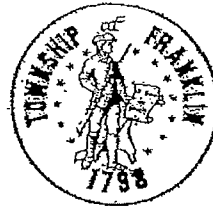
Middlesex County Utilities
PO Box 461
Sayreville, NJ 08872

Cablevision of Raritan Valley
275 Centennial Ave, CN 6805
Piscataway, NJ 08855-6805
Attn: Margurite Prenderville, Construction Dept

New Jersey Department of Transportation
1035 Parkway Ave, CN 600
Trenton, NJ 08625

Franklin Township

Somerset County, New Jersey



DEPARTMENT OF PLANNING AND ZONING

Planning - Zoning - Affordable Housing
Planning Board - Zoning Board of Adjustment

Municipal Building
475 DeMott Lane
Somerset, NJ 08873
732.873.2500
Fax: 732.873.0844

www.franklintwpnj.org

Date: 6-2-21

200-RADIUS LIST

As per the most up-to-date property listings available to the Township on the date indicated above, this letter will certify that the attached list contains the properties and property owners within 200 feet of the Subject Property identified below. Notice shall be provided to the property owners on the attached list per the requirements NJSA 40:55D-12.b.

SUBJECT PROPERTIES:	BLOCK 342 LOT 1/100 Polhemus Rd.
---------------------	----------------------------------

As per NJSA 40:55D-12.h, you must also notify the following registered agencies:

Right-of-Way Department	Business Manager	Sunoco Pipeline LP
Buckeye Pipe Line Company	Comcast Cable	Right of Way Dept
PO Box 368	279 Amwell Road	Montello Complex
Emmaus, PA 18049-0368	Hillsborough, NJ 08844	525 Fritztown Road
		Sinking Spring PA 19608

Chaudhree

Department Staff signature

NOTES: (1) Applicants are responsible for ensuring that the appropriate entities are notified per NJSA 40:55D-12.d. through g. (e.g., notice(s) to NJDOT, clerks of adjoining municipalities, etc.) and otherwise ensuring that all notice requirements of NJSA 40:55D-12 are satisfied. (2) If the site is located within 200-feet of another municipality, the applicant must seek the 200-foot radius list from the appropriate official in that municipality.

BLOCK 516.01 LOT 7.07
BRIDGEPOINT SOMERSET LLC
ONE GATEHALL DR-STE 201
PARSIPPANY, NJ 07054
RE: 601 RANDOLPH RD

BLOCK 516.01 LOT 6.01
PILLAR OF FIRE
WESTON CANAL ROAD
ZAREPATH, NJ 08890
RE: WESTON CANAL ROAD

BLOCK 516.01 LOT 9
CEMETERY
WESTON CANAL ROAD
SOMERSET, NJ 08873
RE: WESTON CANAL ROAD

BLOCK 516.01 LOT 7.05
BRIDGE POINT SOMERSET SPEC, LLC
1000 W. IRVING PK RD-#150
ITASCA, IL 60143
RE: 481 WESTON CANAL ROAD

BLOCK 516.01 LOT 7.06
BRIDGE POINT SOMERSET SPEC, LLC
1000 W. IRVING PK RD-#150
ITASCA, IL 60143
RE: 101 RANDOLPH ROAD

BLOCK 516.01 LOT 12
CEMETERY
RANDOLPH ROAD
SOMERSET, NJ 08873
RE: RANDOLPH ROAD

BLOCK 516.01 LOT 4.03

SELODY, KENNETH & LUBA

545 WESTON CANAL ROAD

SOMERSET, NJ 08873

RE: 545 WESTON CANAL RD

BLOCK 516.01 LOT 5

SELODY, KENNETH & LUBA

549 WESTON CANAL ROAD

SOMERSET, NJ 08873

RE: 549 WESTON CANAL RD

BLOCK 517.03 LOT 3.31

IVY WATERFALL NOTE LLC

102 CHESTNUT RIDGE RD-204

MONTVALE, NJ 07645

RE: 50 RANDOLPH RD

BLOCK 517.03 LOT 3.10

THE CENTER SCHOOL

2 RIVERVIEW DRIVE

SOMERSET, NJ 08873

RE: 2 RIVERVIEW DRIVE

NEW JERSEY AMERICAN WATER

RMWTP Ammonia Handling Facility Improvements

NJAW2001
JUNE 2021



SITE INFORMATION

1. BLOCK: 342
2. LOT: 1
3. NAME & ADDRESS:
NEW JERSEY AMERICAN WATER
RARITAN-MILLSTONE WATER TREATMENT
PLANT
10 POLHEMUS LANE, BRIDGEWATER, NJ 08807
4. NAME & ADDRESS OF ADJOINEES:
PFIZER, INC. BLOCK 340 LOT 2
PFIZER, INC. BLOCK 342 LOT 2
5. LOT AREA: 130.69 ACRES

DRAWING LIST

INFORMATIONAL DRAWINGS

1. COVER SHEET
2. SITE PLAN
3. ENLARGE VIEW OF AQUEOUS AMMONIA
STORAGE AND PUMPING ROOM

ARCHITECTURAL DRAWINGS

4. CODE ANALYSIS AND EGRESS PLANS
5. CONTAINMENT FLOOR PLAN
6. FIRST FLOOR PLAN
7. MEZZANINE FLOOR PLAN
8. ROOF PLAN
9. BUILDING ELEVATIONS
10. BUILDING ELEVATIONS
11. BUILDING SECTIONS
12. STAIR PLANS AND SECTIONS

H2M architects
+
engineers

H2M Associates, Inc.

2380 Route 9 South, Bldg. C Suite 1

Howell, NJ 07731

732.414.2661 • www.h2m.com

NJ Certificate of Authorization No. 24GA28019100

PATRICK K. COLE, P.E.

NJ PROFESSIONAL ENGINEER Lic. No. 24GE04587100

DESIGNED BY: APH DRAWN BY: EEP CHECKED BY: APH REVIEWED BY: DATE

PROJECT NO.: NJAW2001 DATE: JUNE 2021 SCALE: 1" = 24'00"

SITE PLAN ENDORSEMENT

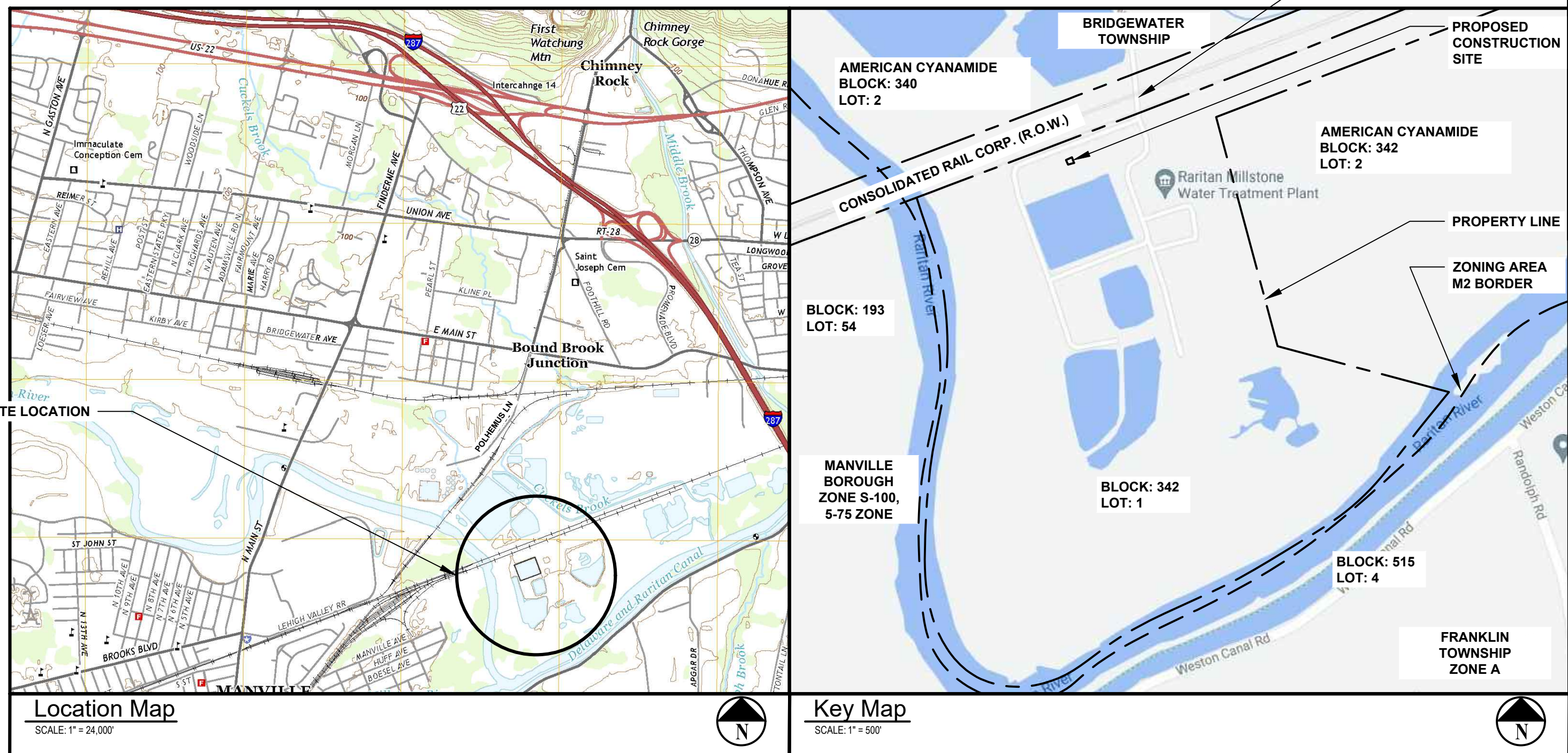
ALAN FROSS
BOARD CHAIRMAN

SCARLETT DOYLE
BOARD SECRETARY

WILLIAM BURR IV, P.E.
BOARD ENGINEER

PLANNING BOARD SUBMISSION

DRAWING No.
1 OF 12



BRIDGEWATER TOWNSHIP

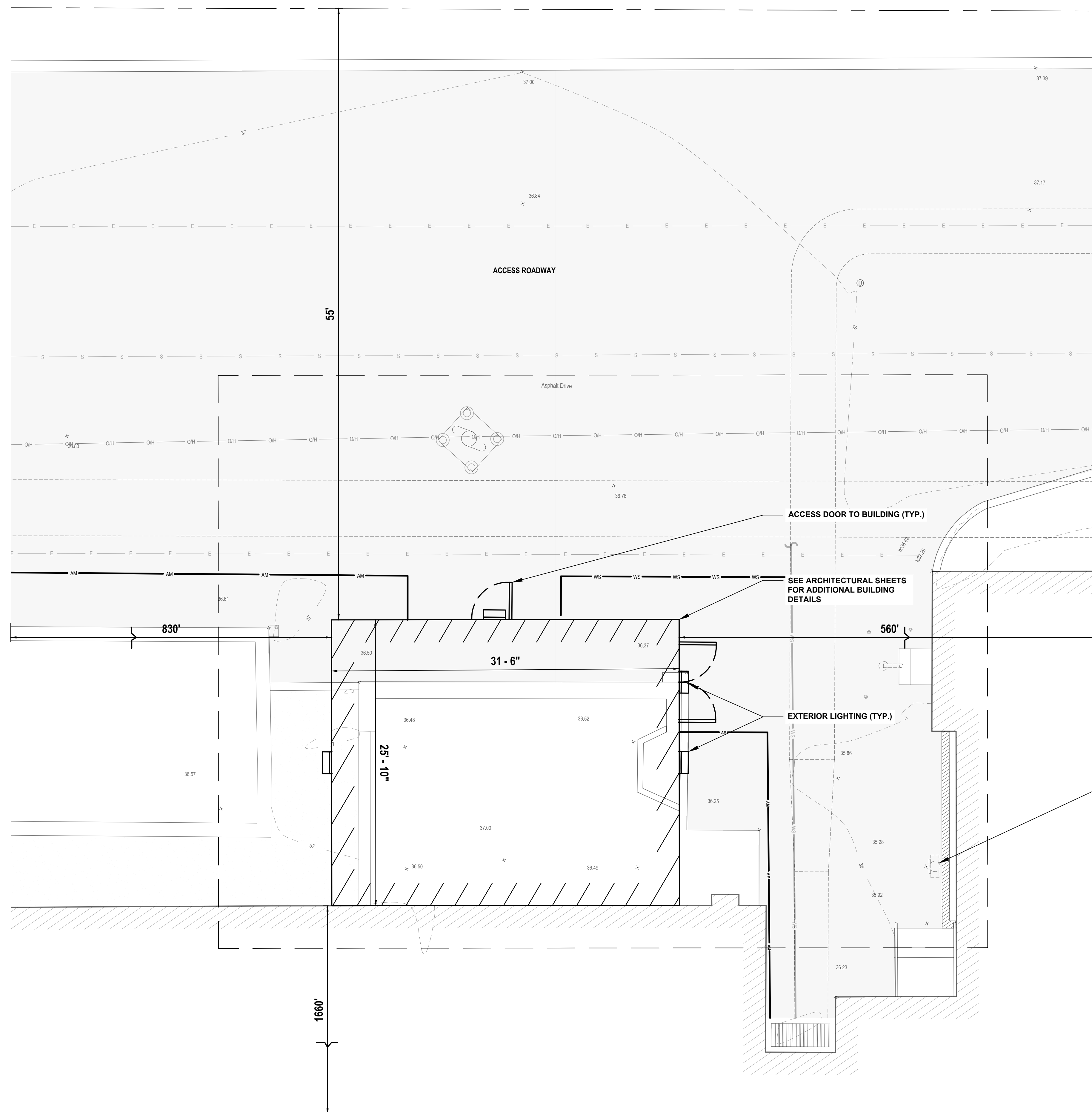
1. EASTON TURNPIKE, BLOCK 340, LOT 2
- 1.1. OWNED BY AMER. CYAN. / PFIZER INC, 100
ROUTE 206 NORTH PEAPACK, NJ 07977
2. 1 STS DRIVE, BLOCK 345 LOT 1 / BLOCK 347 LOT 3
- 2.1. SOMERSET TIRE SVS INC / MAVIS TIRE SVS
358 SAW MILL RIVER ROAD MILLWOOD, NY
10546
3. AMERICAN CYANAMIDE, BLOCK 340, LOT 4
- 3.1. CONSOLIDATED RAIL CORP. TAX DEPT
P.O. BOX 8499 PHILADELPHIA, PA 19101.8499
4. AMERICAN CYANAMIDE, BLOCK 341.01, LOT 1
- 3.1. CONSOLIDATED RAIL CORP. TAX DEPT
P.O. BOX 8499 PHILADELPHIA, PA 19101.8499
4. AMERICAN CYANAMIDE, BLOCK 341.02, LOT 1
- 3.1. CONSOLIDATED RAIL CORP. TAX DEPT
P.O. BOX 8499 PHILADELPHIA, PA 19101.8499
4. 100 POLHEMUS LANE, BLOCK 342 LOT 1
- 4.1. ELIZ. WTR. CO. / NJ AM. WTR CO - GEN TAX
1 WATER ST. CAMDEN NJ 08102
5. EASTON TURNPIKE, BLOCK 342 LOT 2
- 5.1. AMER. CYAN. / PFIZER INC, 100 ROUTE 206
NORTH PEAPACK, NJ 07977
6. COUNTY ROAD BLOCK 9990 LOT 1
- 6.1. COUNTY OF SOMERSET P.O. BOX 3000
SOMERVILLE, NJ 08876.1262
7. STATE HIGHWAY, BLOCK 9990 LOT 2
- 7.1. STATE OF NJ DOT 1035 PARKWAY AVE
EWING, NJ 08619.2309
8. TOWNSHIP ROADWAY, BLOCK 9990 LOT 3
- 8.1. CABLEVISION / CRAIG MCLEOD 275
CENTENNIAL AVE PSCATAWAY, NJ 08854.3909
9. RECORD ONLY, BLOCK 9990 LOT 4
- 9.1. NJ- AMER. WTR CO / GIS SPVS - D SHORT 1025
LAUREL OAK RD VOORHEES, NJ 08043.3506
10. RECORD ONLY, BLOCK 9990 LOT 5
- 10.1. PUBLIC SERVICE ELECTRIC AND GAS, 80
PARK PLZ #T6B NEWARK, NJ 07102.4109
11. RECORD ONLY, BLOCK 9990 LOT 6
- 11.1. SUNOCO PIPELINE LP / RIGHT OF WAY DEPT.
525 FRITZTOWN RD SINKING SPRING, PA
196089.1509















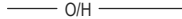






FRANKLIN TOWNSHIP

1. STATE OF NEW JERSEY PARK SERVICES, BLOCK
515, LOT 4
- 1.1. OWNED BY THE STATE OF NEW JERSEY

MANVILLE TOWNSHIP



1. ELIZABETHTOWN WATER COMPANY, BLOCK 193,
LOT 54
- 1.1. OWNED BY NEW JERSEY AMERICAN WATER



DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL
BENCHMARK		CHEMICAL LINE	
INLET		STORM DRAIN	
WATER VALVE		WATER MAIN	
SANITARY MANHOLE		SANITARY SEWER	
CLEAN OUT		OVERHEAD WIRES	
UTILITY POLE/GUY POLE		UNDERGROUND ELECTRIC (Q-LD)	
GAS VALVE		FENCE	
		EDGE OF PAVEMENT	
		CURB	
		CONTOUR	
		SPOT ELEVATION	
		TOP/BOT CURB GRADE	
		ASPHALT PAVEMENT	
		CONCRETE PAVEMENT	

SITE PLAN NOTES:

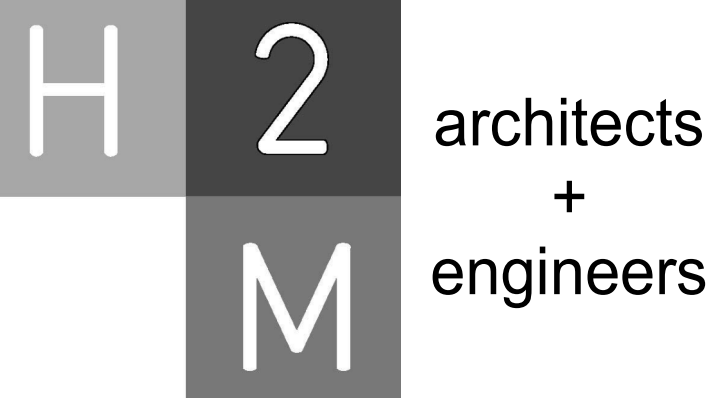
1. INSPECT THE SITE PRIOR TO SUBMISSION OF BIDS AND MAKE NO ADDITIONAL CLAIMS REGARDING SITE CONDITIONS THEREAFTER.
2. NOTIFY THE OWNER AND H2M (TELEPHONE 631-756-8000) AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF THE WORK. THE SAME NOTICE SHALL BE REQUIRED WHEN RESUMING WORK AFTER ANY STOPPAGE OR DELAY.
3. COMPLETE ALL SURVEY AND STAKEOUT AS REQUIRED TO PROPERLY COMPLETE THE WORK.
4. PERFORM DAILY CLEANUP OPERATIONS INCLUDING REMOVAL OF DEBRIS AND EXCESS CONSTRUCTION MATERIAL, AND DRIVEWAY/STREET CLEANING TO THE SATISFACTION OF THE OWNER.
5. DURING ALL NON-WORKING HOURS, STORE ALL EQUIPMENT AND MATERIALS WITHIN AN AREA DESIGNATED BY THE OWNER AT THE PROJECT SITE.
6. ALL CURB DIMENSIONS SHOWN REFER TO THE FACE OF CURB.
7. ALL CONSTRUCTION TO CONFORM WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODE REQUIREMENTS.
8. COORDINATE CONSTRUCTION ACTIVITIES WITH OWNER TO MINIMIZE INTERRUPTION TO THE OWNER'S OPERATIONS.
9. RESTORE SURROUNDING AREAS DAMAGED OR DISTURBED DURING CONSTRUCTION. RESTORE TO NEW CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
10. RESTORE ALL DISTURBED GRASS AREAS AND ALL AREAS NOT SPECIFICALLY IDENTIFIED FOR OTHER IMPROVEMENTS WITH 4 INCHES OF TOPSOIL AND SEED.
11. REMOVE ALL ASPHALT FROM EXISTING CASTINGS.
12. SEAL ALL JOINTS BETWEEN NEW ASPHALT AND EXISTING ASPHALT WITH HOT ASPHALT CEMENT.

<div style="font-size: 48pt; font-weight: bold; margin: 0;">H</div> <div style="font-size: 48pt; font-weight: bold; margin: 0;">2</div> <div style="font-size: 48pt; font-weight: bold; margin: 0;">M</div>	<div style="font-size: 24pt; font-weight: bold; margin: 0;">architects + engineers</div>
<u>H2M Architects & Engineers, Inc.</u>	
4810 Belmar Boulevard, Suite 201 Wall Township, NJ 07753 732.414.2661 • www.h2m.com	
NJ Architecture Certificate of Authorization No. 21AC00102900 NJ Engineering Certificate of Authorization No. 24GA28025500	
CONSULTANTS:	
<div style="font-size: 24pt; font-family: cursive; margin: 0;"></div> <div style="display: flex; justify-content: space-between; align-items: center; margin-top: 5px;"><div style="text-align: center;">PATRICK K. COLE, P.E. <small>NJ PROFESSIONAL ENGINEER Lic. No. 24GE04587100</small></div><div style="text-align: right;">6/24/2021 <small>DATE</small></div></div>	
THIS SEAL MAY BE REPRODUCED OR COPIED, PROVIDED IT IS USED TO SIGNIFY THE EXISTENCE OF A SEAL ORIGINALLY ISSUED BY THE BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS OF THE STATE OF NEW JERSEY.	
DESIGNED BY:	DRAWN BY:
PROJECT No.: NJAW2001	DATE: JUNE 2021
	CHECKED BY:
	REVIEWED BY:
	SCALE: AS SHOWN
<div style="border-bottom: 1px solid black; margin-bottom: 10px;">CLIENT</div> <div style="text-align: center; padding: 20px 0;"><div style="font-size: 24pt; font-weight: bold; margin: 0;">New Jersey American Water</div><div style="font-size: 48pt; color: blue; margin: 20px 0;"></div><div style="display: flex; justify-content: center; align-items: center; margin: 0;"><div style="color: blue; font-weight: bold; margin-right: 10px;">NEW JERSEY</div><div style="color: red; font-weight: bold; font-size: 24pt;">AMERICAN WATER</div></div></div> <div style="text-align: center; padding: 20px 0;"><div style="font-weight: bold; margin: 0;">RMWTP Ammonia Handling Facility Improvements</div><div style="font-weight: bold; margin: 20px 0;">Raritan-Millstone Water Treatment Plant</div></div>	
STATUS: PLANNING BOARD SUBMISSION	
SHEET TITLE: ENLARGED VIEW OF AQUEOUS AMMONIA STORAGE AND PUMPING ROOM	
DRAWING No. 3 OF 12	



3/24/2021 11:23:40 AM

NOTE:
SEE MECHANICAL PLANS FOR LOCATIONS OF
EQUIPMENT & LAYOUT OF PIPING



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NJ Architecture Certificate of Authorization No. 21AC00102900
NJ Engineering Certificate of Authorization No. 24GA28025500

CONSULTANTS:

MARK	DATE	DESCRIPTION

ROBERT F. BEE, R.A.			
NJ PROFESSIONAL ARCHITECT Lic. No. 21AR102000			
THIS SEAL MAY NOT BE CONSIDERED AN OFFICIAL DOCUMENT UNLESS IT CONTAINS THE ENGRAVED SEAL OF LICENSE.			
DESIGNED BY: SSL	DRAWN BY: MCC	CHECKED BY:	REVIEWED BY:
PROJECT No: NJAW2001	DATE: JUNE 2021	SCALE:	AS SHOWN

CLIENT

**NEW JERSEY
AMERICAN WATER**

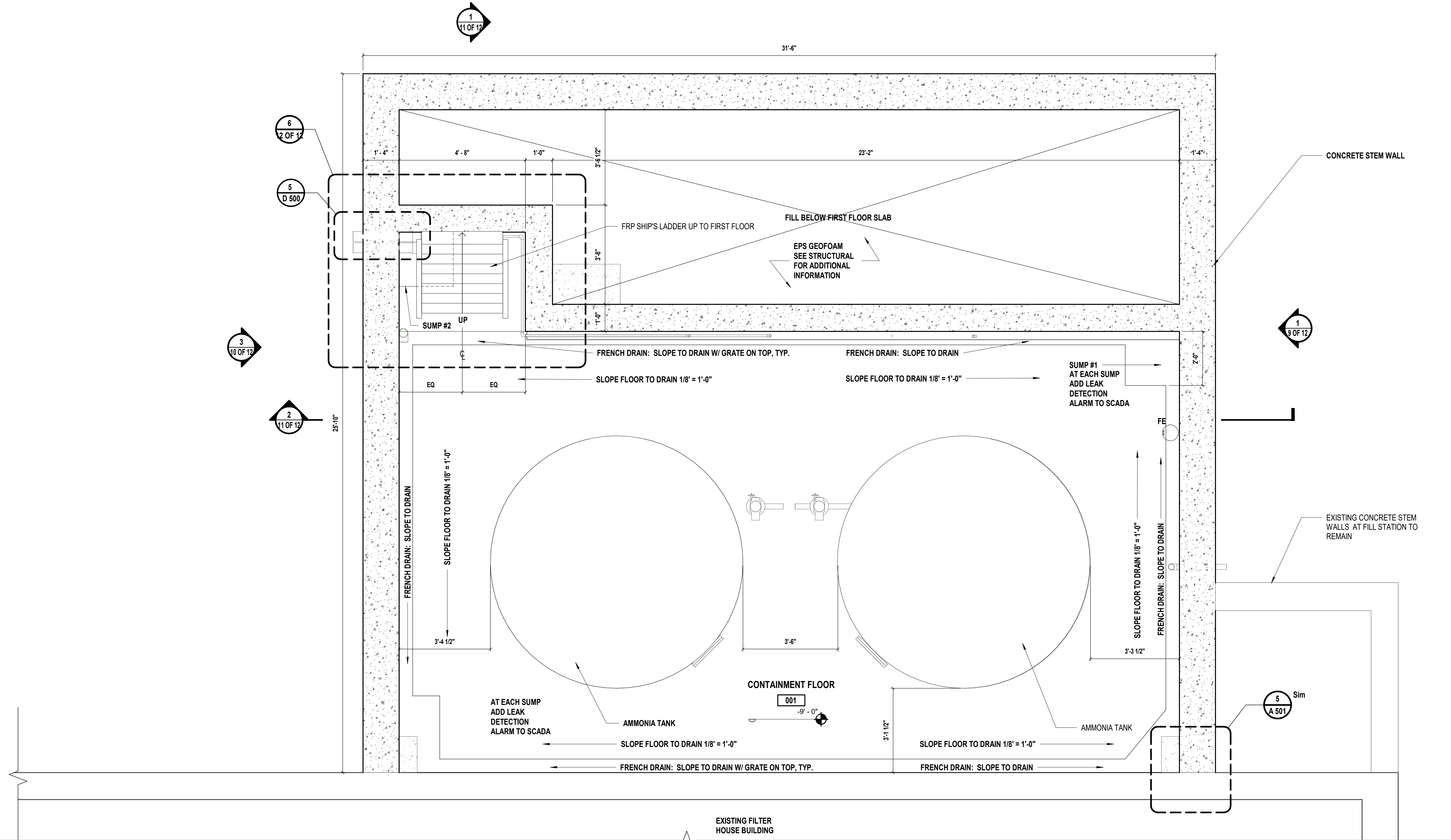
RMWTP Ammonia Handling Facility
Improvements

Raritan-Millstone Water Treatment
Plant

STATUS
PLANNING BOARD SUBMISSION




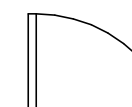
SHEET TITLE
CONTAINMENT FLOOR PLAN

DRAWING No.
5 OF 12.



1 Ammonia Building Containment Level Floor Plan
SCALE: 1/2" = 1'-0"

FLOOR PLAN LEGEND

LL	LOOSE LINTEL. SEE SCHEDULE ON THIS SHEET FOR ADDITIONAL INFORMATION		CMU
11	WALL TAG. REFER TO PARTITION TYPES FOR ADDITIONAL INFORMATION		FIRE EXTINGUISHER CABINET
11	WINDOW TAG. REFER TO WINDOW TYPES FOR ADDITIONAL INFORMATION		DOOR TAG. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION
A			DOOR. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION

GENERAL NOTES:

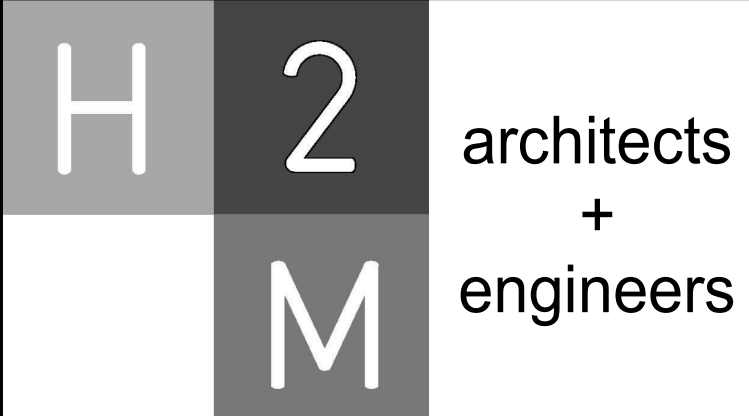
- COORDINATE LOCATIONS OF RECESSED OR CONCEALED ITEMS DETAILED OR SPECIFIED WITH 'M', 'P' AND 'E' DRAWINGS
- FOR ALL WINDOWS DENOTED AS SEE DRAWING A11.0 FOR ADDITION INFORMATION.
- FOR ALL WALL TYPES DENOTED , SEE DRAWINGS A 010.00 FOR ADDITIONAL PARTITION INFORMATION, STUD PARTITIONS ARE NOT DENOTED WITH SYMBOL ON PLAN DRAWINGS, SEE DETAIL 1/IN2 FOR ADDITIONAL INFORMATION
- SEE EGRESS PLAN FOR LOCATIONS OF FIRE RATED WALLS.
- ALL STAIR LANDINGS ARE TO RECEIVE EMERGENCY EXIT MAPS, MAPS HAVE BEEN PROVIDED IN SPECIFICATION SECTION 10440.
- COORDINATE LOCATIONS FOR FLOOR DRAINS WITH 'P' DRAWINGS.

GENERAL PLAN NOTES:

- FINISH FLOOR ELEVATION (-0'-0") IS ESTABLISHED AT FIRST FLOOR OF EXISTING FILTER BUILDING.
- APPLY CLEAR WATER REPELLANT TO ALL EXTERIOR MASONRY SURFACES.
- SEE ROOM FINISH SCHEDULE FOR CEILING HEIGHTS ABOVE FINISH FLOOR.
- SEE SLAB PLAN ON 'S' DWGS FOR CONTROL AND EXPANSION JOINT LOCATIONS.
- ALL MASONRY WALLS ARE NOTED AS NOMINAL DIMENSIONS.
- COORDINATE THE WORK REQUIRED ON THIS DRAWINGS WITH THE WORK OF ALL OTHER TRADES AND SPECIFICATIONS.
- FOR MORE INFORMATION ON HANDRAILS AND STAIRS, SEE SPECS.
- ACCOMMODATE THE CONSTRUCTION TO ACCEPT ALL PIPING, CONDUITS, EQUIPMENT, PANELS, ETC., EITHER SPECIFIED OR DETAILED TO BE RECESSED OR CONCEALED IN MASONRY AND/OR FURRED WALLS, AS REQUIRED BY THIS & OTHER CONTRACTS.
- SEE ELEVATIONS FOR MASONRY EXPANSION JOINT LOCATIONS.
- ALL EXTERIOR EXPOSED CONC. FOUNDATION WALLS SHALL BE PARGED.

X:\NAWI (NJ) American Water\NAWI 2001 RM Ammonia\02-BIM-CADD\Con-locat\am\NAW2001_Central\19_A_Planning Board Submission.rvt 6/24/2021 11:23:42 AM

NOTE:
SEE MECHANICAL PLANS FOR LOCATIONS OF
EQUIPMENT & LAYOUT OF PIPING



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NJ Engineering Certificate of Authorization No. 24GA28025500

CONSULTANTS:

MARK	DATE	DESCRIPTION

ROBERT F. BEE, R.A.				DATE
NJ PROFESSIONAL ARCHITECT Lic. No. 21A0102000				
DESIGNED BY:	DRAWN BY:	CHECKED BY:	REVIEWED BY:	
SSL	MCC			
PROJECT No:	DATE:	SCALE:		
NJAW2001	JUNE 2021	AS SHOWN		

CLIENT

**NEW JERSEY
AMERICAN WATER**

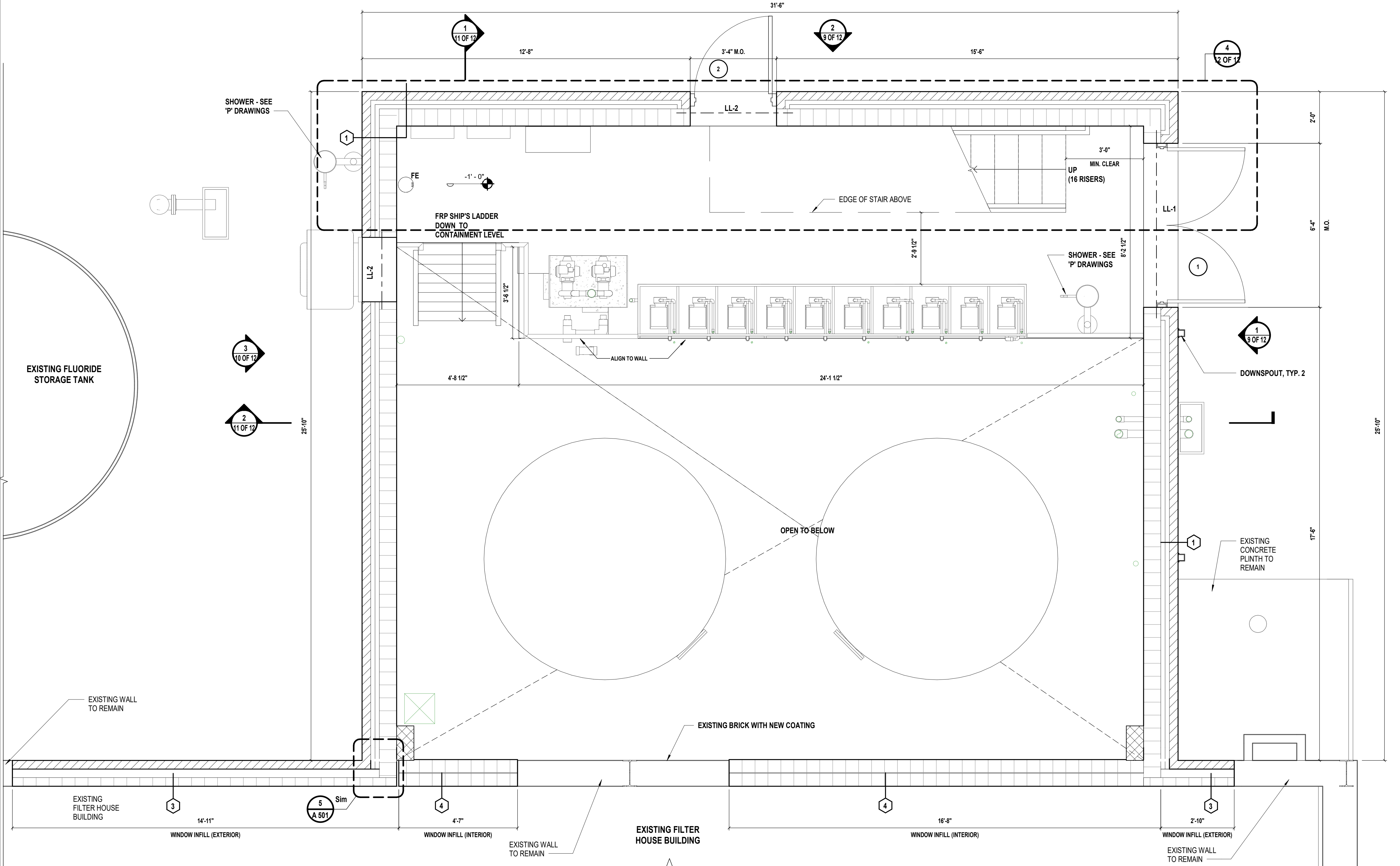
**RMWTP Ammonia Handling Facility
Improvements**

**Raritan-Millstone Water Treatment
Plant**

STATUS
PLANNING BOARD SUBMISSION








SHEET TITLE
FIRST FLOOR PLAN

DRAWING No.
6 OF 12.



1 Ammonia Building First Floor Plan
SCALE: 1/2" = 1'-0"

FLOOR PLAN LEGEND

	LOOSE LINTEL, SEE SCHEDULE ON THIS SHEET FOR ADDITIONAL INFORMATION		CMU
	WALL TAG. REFER TO PARTITION TYPES FOR ADDITIONAL INFORMATION		FIRE EXTINGUISHER CABINET
	WINDOW TAG. REFER TO WINDOW TYPES FOR ADDITIONAL INFORMATION		DOOR TAG. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION
			DOOR. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION

GENERAL NOTES:

- COORDINATE LOCATIONS OF RECESSED OR CONCEALED ITEMS DETAILED OR SPECIFIED WITH 'M', 'P' AND 'E' DRAWINGS
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- FOR ALL WALL TYPES DENOTED SEE DRAWINGS A 010.00 FOR ADDITIONAL PARTITION INFORMATION, STUD PARTITIONS ARE NOT DENOTED WITH SYMBOL ON PLAN DRAWINGS, SEE DETAIL 1/IN2 FOR ADDITIONAL INFORMATION
- SEE EGRESS PLAN FOR LOCATIONS OF FIRE RATED WALLS.
- ALL STAIR LANDINGS ARE TO RECEIVE EMERGENCY EXIT MAPS, MAPS HAVE BEEN PROVIDED IN SPECIFICATION SECTION 10440.
- COORDINATE LOCATIONS FOR FLOOR DRAINS WITH 'P' DRAWINGS.

GENERAL PLAN NOTES:

- FINISH FLOOR ELEVATION (-0'-0") IS ESTABLISHED AT FIRST FLOOR OF EXISTING FILTER BUILDING.
- APPLY CLEAR WATER REPELLANT TO ALL EXTERIOR MASONRY SURFACES.
- SEE ROOM FINISH SCHEDULE FOR CEILING HEIGHTS ABOVE FINISH FLOOR.
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- SEE ELEVATIONS FOR MASONRY EXPANSION JOINT LOCATIONS.
- ALL EXTERIOR EXPOSED CONC. FOUNDATION WALLS SHALL BE PARGED.

LINTEL NOTES:

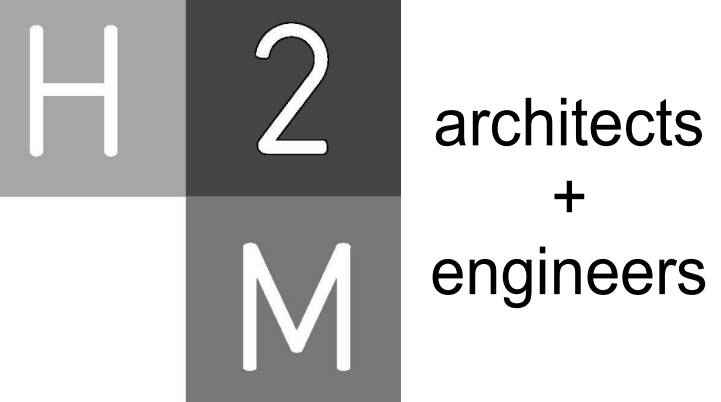
- LINTEL LENGTH SHALL BE M.O. + 1'-4" TO PROVIDE MIN. BEARING OF 8" ONTO SOLID MASONRY ON EACH SIDE.
- WELD VERTICAL REINFORCEMENT INTERRUPTED BY MASONRY OPENINGS TO TOP OF THE STEEL LINTELS, TYPICAL.
- REFER TO ARCHITECTURAL FLOOR PLANS AND ELEVATIONS FOR LINTEL LOCATIONS.
- ALL EXTERIOR LINTELS TO BE SHOP APPLIED HOT DIPPED GALVANIZED.
- FOR PLATE CONNECTIONS, SEE S DRAWINGS.
- FOR END BEARING CONDITIONS, SEE S DRAWINGS.

LINTEL SCHEDULE

MARK	SECTION	DIAGRAM	COMMENTS
LL-1	(2) L6x3 1/2x3/8 LLBB AND (2) L6x3 1/2x3/8		SEE NOTES 1-4
LL-2	(2)L4x3 1/2x3/8 LLBB AND L4x3 1/2x3/8		SEE NOTES 1-4

X:\NAW\NJ American Water\YNUAW 2001 RM Ammonia\02-BIM-CADD\Con-Details\NAW2001 Central\19_A Planning Board Submission.rvt 6/24/2021 11:23:43 AM

NOTE:
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EQUIPMENT & LAYOUT OF PIPING



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CONSULTANTS:

MARK	DATE	DESCRIPTION

ROBERT F. BEE, R.A.				DATE
NJ PROFESSIONAL ARCHITECT LIC. NO. 21A0102000				
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DESIGNED BY: SSL	DRAWN BY: MCC	CHECKED BY:	REVIEWED BY:	
PROJECT No: NJAW2001	DATE: JUNE 2021	SCALE: AS SHOWN		

CLIENT

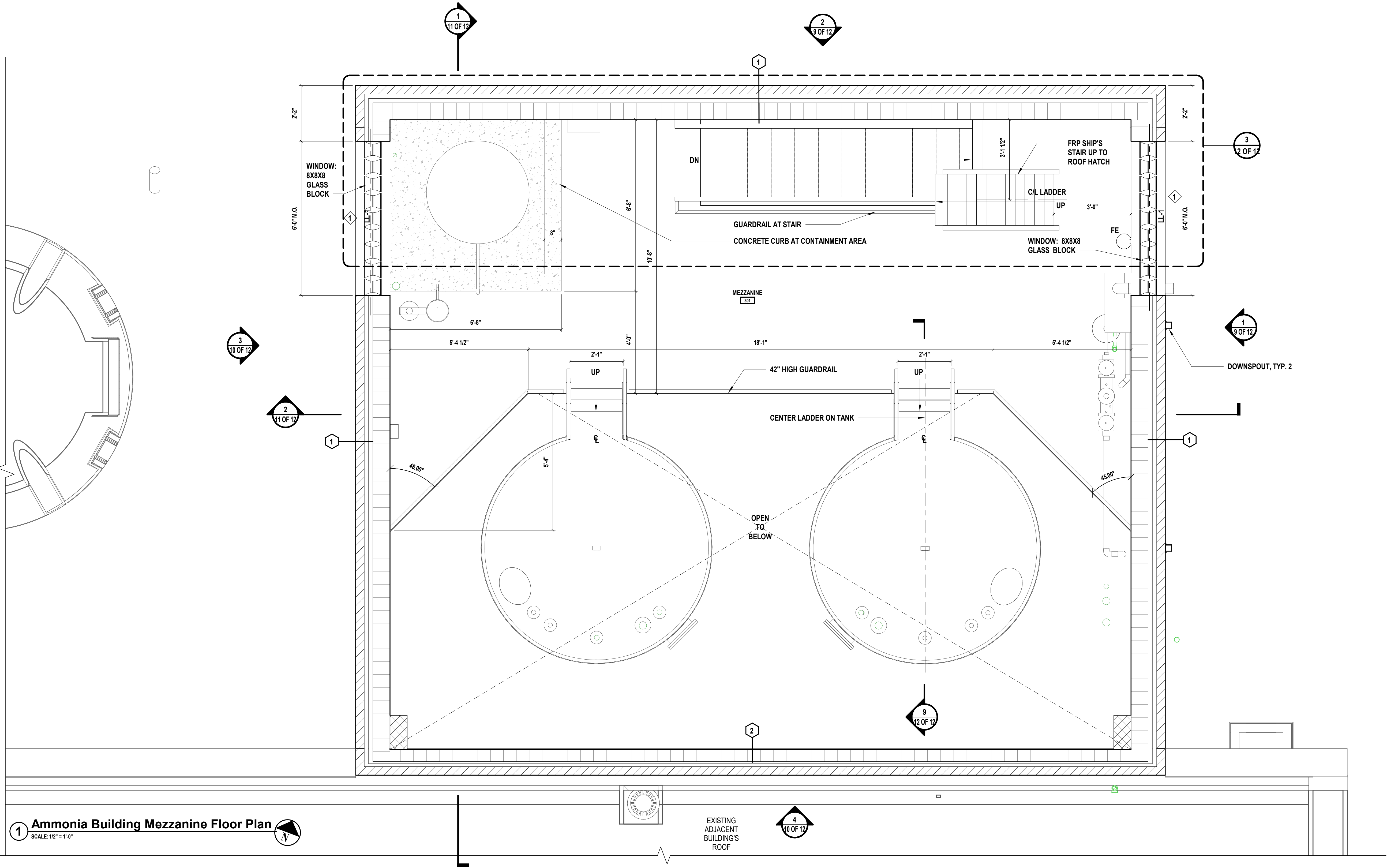
**NEW JERSEY
AMERICAN WATER**

RMWTP Ammonia Handling Facility
Improvements









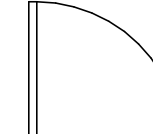
Raritan-Millstone Water Treatment
Plant

STATUS PLANNING BOARD SUBMISSION
SHEET TITLE MEZZANINE FLOOR PLAN
DRAWING No. 7 OF 12.



1 Ammonia Building Mezzanine Floor Plan
SCALE: 1/2" = 1'-0"

FLOOR PLAN LEGEND

	LOOSE LINTEL, SEE SCHEDULE ON THIS SHEET FOR ADDITIONAL INFORMATION		CMU
	WALL TAG. REFER TO PARTITION TYPES FOR ADDITIONAL INFORMATION		FIRE EXTINGUISHER CABINET
	WINDOW TAG. REFER TO WINDOW TYPES FOR ADDITIONAL INFORMATION		DOOR TAG. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION
			DOOR. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION

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- FOR ALL WALL TYPES DENOTED SEE DRAWINGS A 010.00 FOR ADDITIONAL PARTITION INFORMATION, STUD PARTITIONS ARE NOT DENOTED WITH SYMBOL ON PLAN DRAWINGS, SEE DETAIL 1/1N2 FOR ADDITIONAL INFORMATION
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- COORDINATE LOCATIONS FOR FLOOR DRAINS WITH 'P' DRAWINGS.

GENERAL PLAN NOTES:

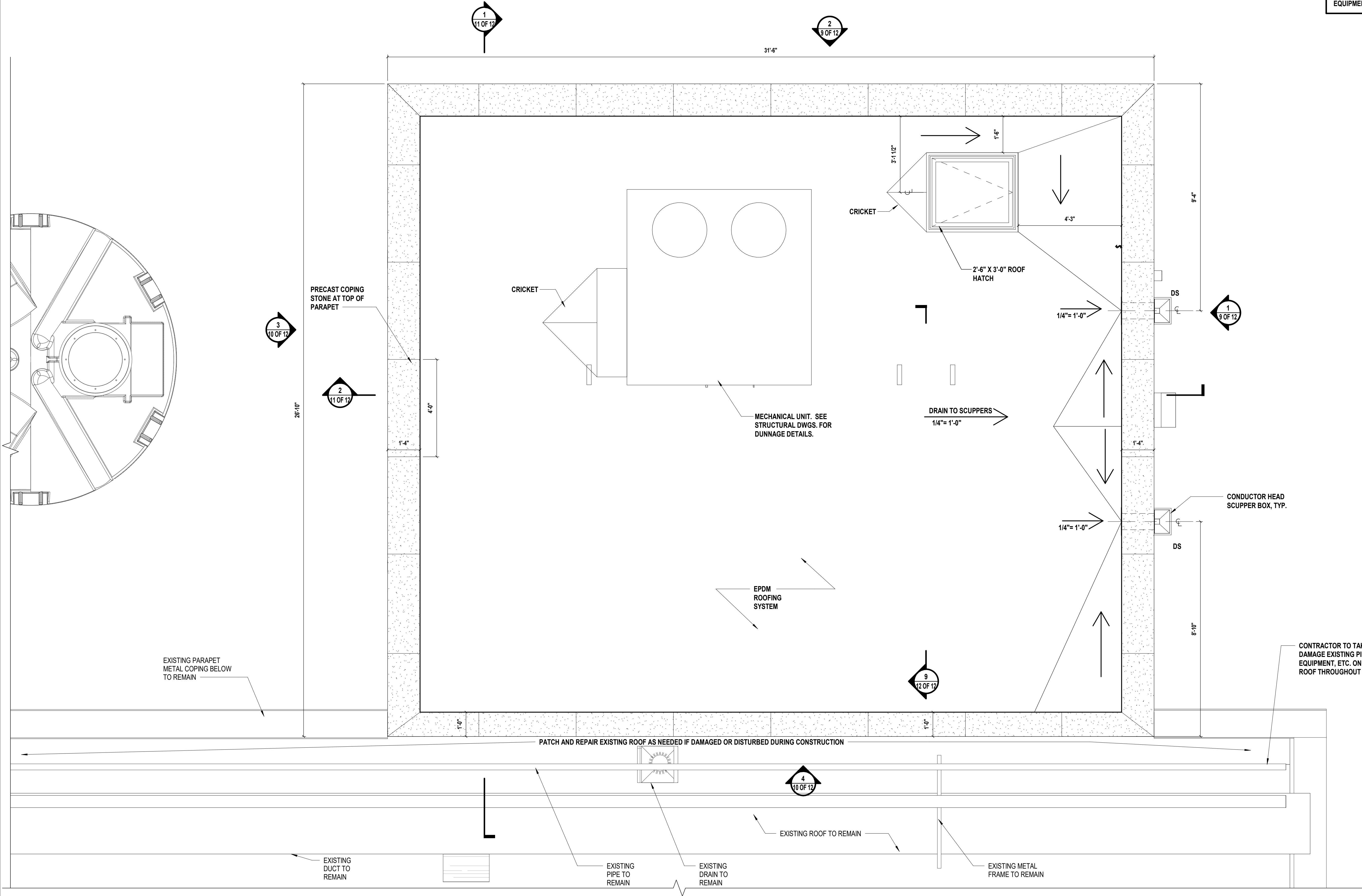
- FINISH FLOOR ELEVATION (-0'-0") IS ESTABLISHED AT FIRST FLOOR OF EXISTING FILTER BUILDING.
- APPLY CLEAR WATER REPELLANT TO ALL EXTERIOR MASONRY SURFACES.
- SEE ROOM FINISH SCHEDULE FOR CEILING HEIGHTS ABOVE FINISH FLOOR.
- SEE SLAB PLAN ON 'S' DWGS FOR CONTROL AND EXPANSION JOINT LOCATIONS.
- ALL MASONRY WALLS ARE NOTED AS NOMINAL DIMENSIONS.
- COORDINATE THE WORK REQUIRED ON THIS DRAWINGS WITH THE WORK OF ALL OTHER TRADES AND SPECIFICATIONS.
- FOR MORE INFORMATION ON HANDRAILS AND STAIRS, SEE SPECS.
- ACCOMMODATE THE CONSTRUCTION TO ACCEPT ALL PIPING, CONDUITS, EQUIPMENT, PANELS, ETC., EITHER SPECIFIED OR DETAILED TO BE RECESSED OR CONCEALED IN MASONRY AND/OR FURRED WALLS, AS REQUIRED BY THIS & OTHER CONTRACTS.
- SEE ELEVATIONS FOR MASONRY EXPANSION JOINT LOCATIONS.
- ALL EXTERIOR EXPOSED CONC. FOUNDATION WALLS SHALL BE PARGED.

LINTEL NOTES:

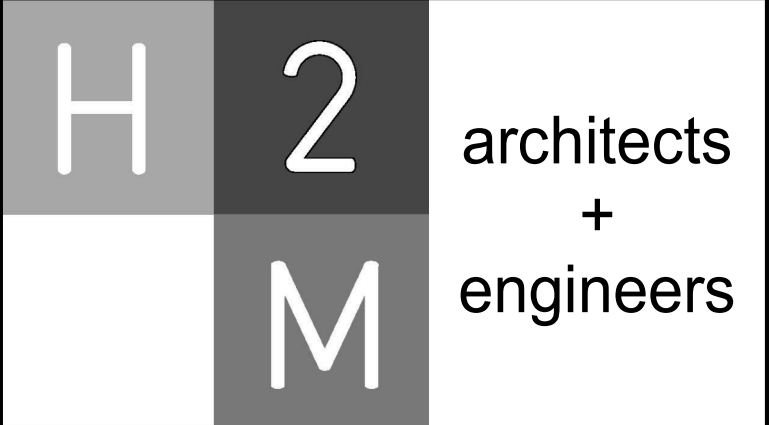
- LINTEL LENGTH SHALL BE M.O. + 1'-4" TO PROVIDE MIN. BEARING OF 8" ONTO SOLID MASONRY ON EACH SIDE.
- WELD VERTICAL REINFORCEMENT INTERRUPTED BY MASONRY OPENINGS TO TOP OF THE STEEL LINTELS, TYPICAL.
- REFER TO ARCHITECTURAL FLOOR PLANS AND ELEVATIONS FOR LINTEL LOCATIONS.
- ALL EXTERIOR LINTELS TO BE SHOP APPLIED HOT DIPPED GALVANIZED.
- FOR PLATE CONNECTIONS, SEE S DRAWINGS.
- FOR END BEARING CONDITIONS, SEE S DRAWINGS.

LINTEL SCHEDULE			
MARK	SECTION	DIAGRAM	COMMENTS
LL-1	(2) L6x3 1/2x3/8 LLBB AND (2) L6x3 1/2x3/8		SEE NOTES 1-4
LL-2	(2)L4x3 1/2x3/8 LLBB AND L4x3 1/2x3/8		SEE NOTES 1-4

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NOTE:
SEE MECHANICAL PLANS FOR LOCATIONS OF
EQUIPMENT & LAYOUT OF PIPING



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CONSULTANTS:		

MARK	DATE	DESCRIPTION

ROBERT F. BEE, R.A. DATE			
NJ PROFESSIONAL ARCHITECT Lic. No. 21AR102000			
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PROJECT No: NJAW2001	DATE: JUNE 2021	SCALE: AS SHOWN	

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**NEW JERSEY
AMERICAN WATER**

**RMWTP Ammonia Handling Facility
Improvements**

**Raritan-Millstone Water Treatment
Plant**

STATUS PLANNING BOARD SUBMISSION
SHEET TITLE ROOF PLAN
DRAWING No. 8 OF 12.

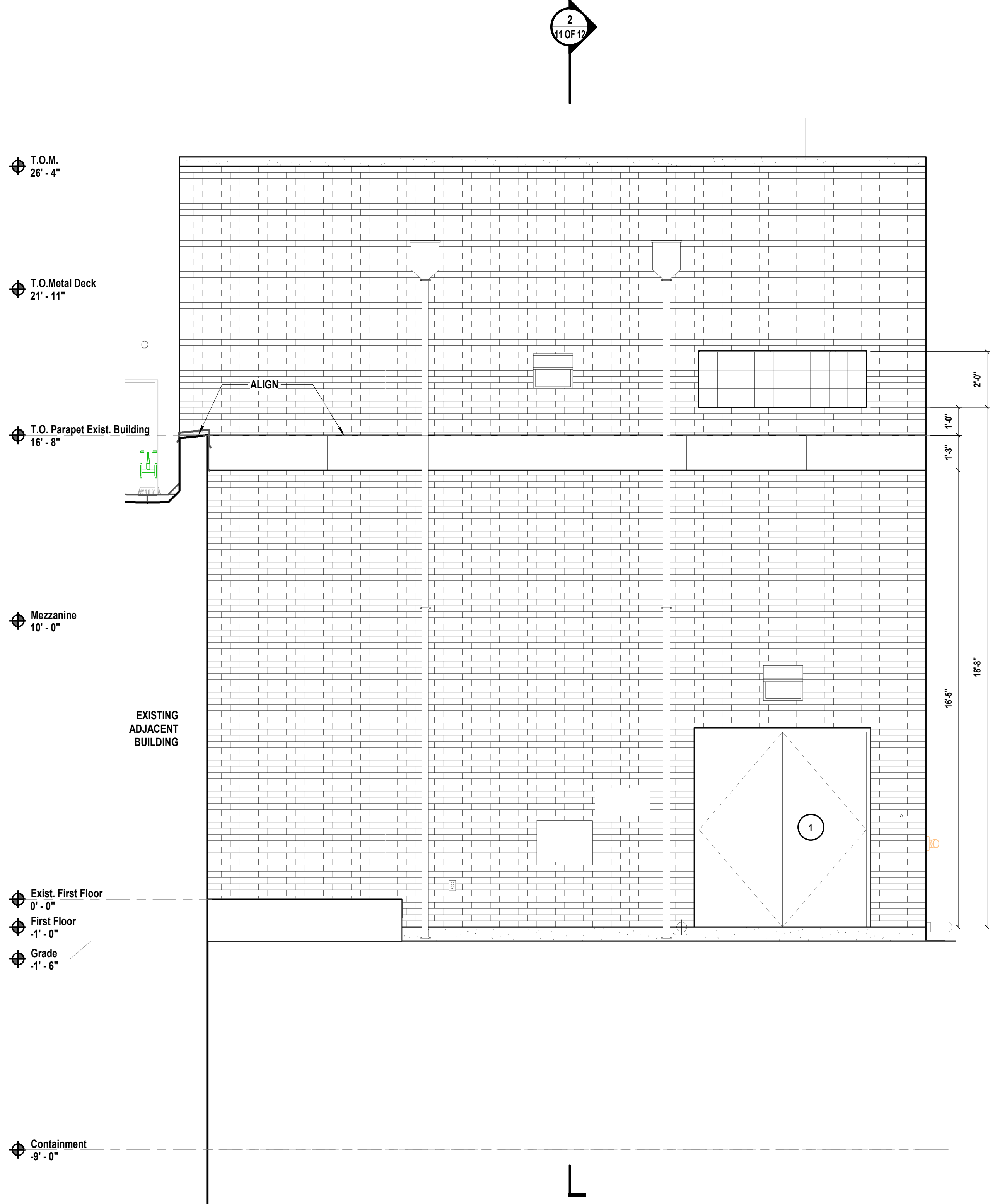
ROOF LEGEND:	
	EXHAUST FAN - SEE 'M' DWGS
	CRICKET
	ROOF SLOPE
	CONDUCTOR HEAD AND DOWNSPOUT
	ROOF DRAIN

1 Ammonia Building Roof Plan
SCALE: 1/2" = 1'-0"

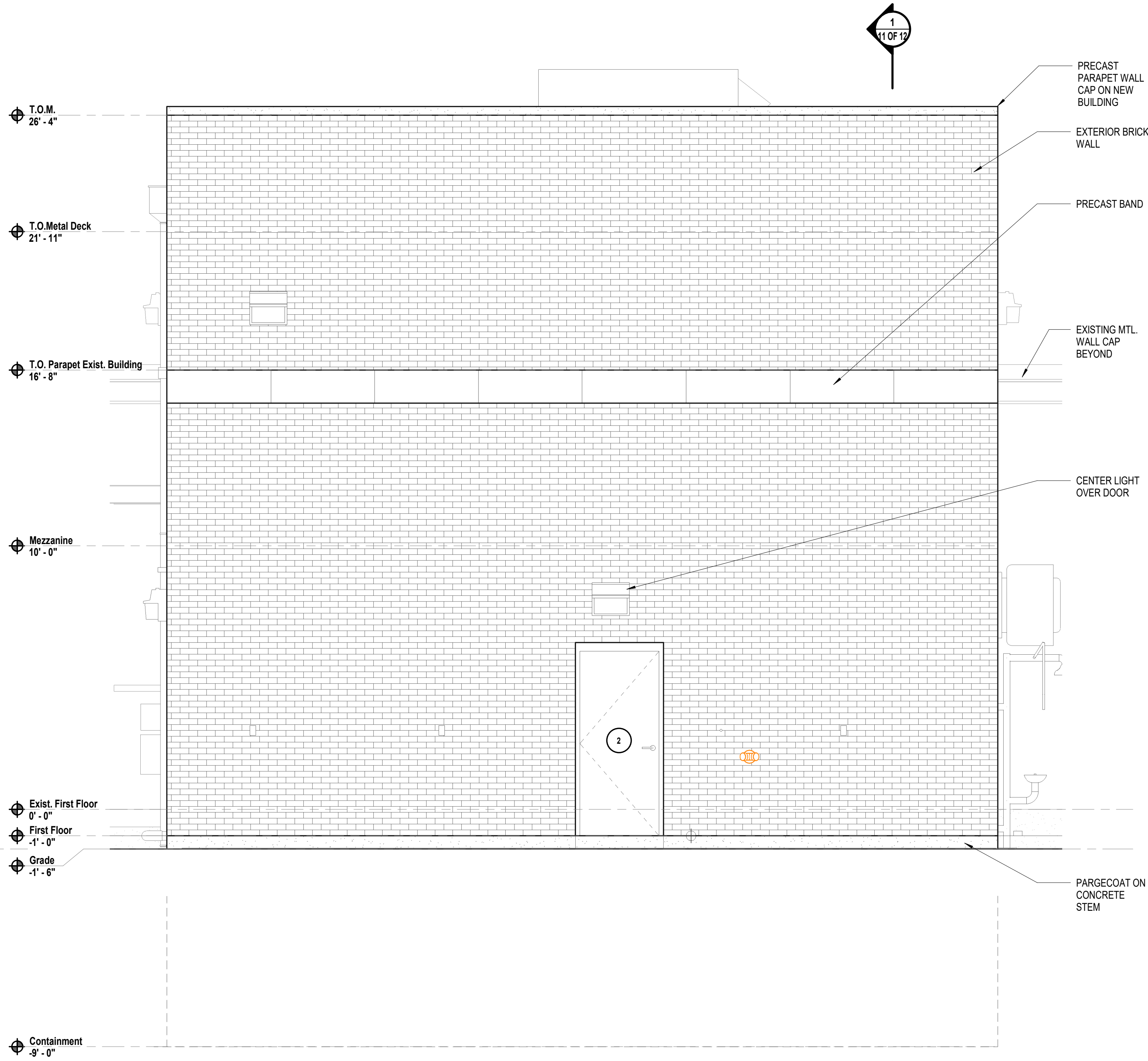
GENERAL ROOFING NOTES - LOW SLOPE ROOF

- THIS DRAWING SERVES AS A GRAPHICAL PRESENTATION OF PRINCIPAL ROOFING ITEMS AND IS NOT A COMPLETE LIST OF EVERY ROOFING ITEM AND ACCESSORY. THIS DRAWING MUST BE COORDINATED WITH ALL OTHER DRAWINGS, ROOF DETAILS SPECIFICATIONS AND MFR. REQS.
- THE INTENDED SCOPE OF WORK, INCLUDES THE COMPLETE INSTALLATION OF A NEW EPDM ROOF SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS, LABOR, ROOFING ITEM AND ACCESSORIES REQ'D FOR INSTALLATION WHETHER INDICATED ON THE DWGS OR NOT.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND HEIGHTS OF ALL ROOF PENETRATIONS. THE CONTRACTOR SHALL PROTECT AT ALL TIMES THE BUILDING INTERIOR, EXTERIOR, & GROUNDS. ANY DAMAGED ITEMS THAT RESULTED FROM, AND DURING, ROOFING INSTALLATION SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER AND INCLUDES BUT IS NOT LIMITED TO DEBRIS, WATER LEAKS, ETC. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN A WEATHER TIGHT ROOF AT ALL TIMES.
- COORDINATE THE WORK REQUIRED ON THIS DRAWINGS WITH ALL STRUCTURAL, ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS, AND SPECIFICATIONS.
- CONTRACTOR SHALL REVIEW, COORDINATE, AND INSTALL SLEEVES AND LOCATE ALL MECHANICAL PENETRATIONS REQUIRED TO ACCOMMODATE ALL WORK DETAILED OR SPECIFIED.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING FLASHING FOR ALL ROOF PENETRATIONS U.N.O.
- CONTRACTOR SHALL FURNISH CURBS & SLEEVES AND LOCATE ALL MECHANICAL PENETRATIONS REQUIRED TO ACCOMMODATE ALL WORK DETAILED OR SPECIFIED FOR THIS CONTRACT.
- CONTRACTOR SHALL PROVIDE ALL TEMPORARY ROOF FLASHING WORK WHICH IS REQUIRED. IT IS THE RESPONSIBILITY OF CONTRACTOR TO MAINTAIN A WEATHER TIGHT ROOF AT ALL TIMES.
- PROVIDE MIN. ROOF PITCH AS INDICATED ON PLAN.
- PROVIDE CRICKETS BEHIND ALL ROOFING ITEMS TO PROVIDE PITCH AND PREVENT PONDING.
- ROOF UNDERLAYMENT SHALL BE APPLIED WITH CORROSION - RESISTANT FASTENERS IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS. FASTENERS ARE TO BE APPLIED ALONG THE OVERLAP AT A MAXIMUM SPACING OF 36 INCHES ON CENTER AS PER IBC SECTION 1507.2.8.1
- ALL WORK SHOWN IS BY CONTRACTOR UNLESS NOTED OTHERWISE.

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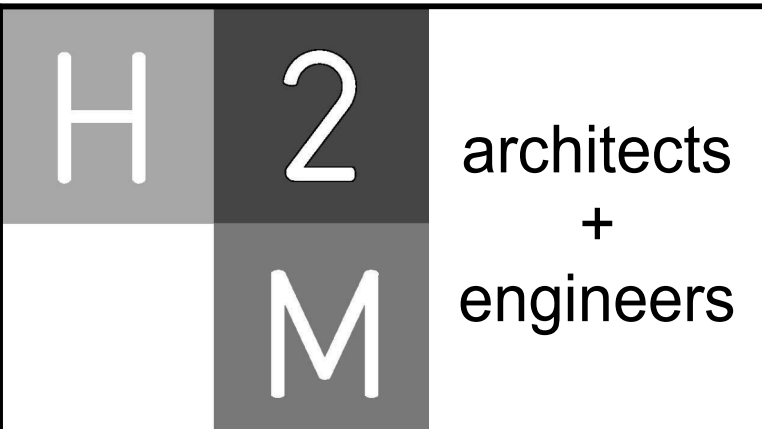
1 Ammonia Building East Elevation
SCALE: 3/8" = 1'-0"



2 Ammonia Building North Elevation
SCALE: 3/8" = 1'-0"

ELEVATION LEGEND:	
	DOOR TAG. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION
	WINDOW TAG. REFER TO WINDOW TYPES FOR ADDITIONAL INFORMATION

PRECAST PARAPET WALL CAP ON NEW BUILDING
EXTERIOR BRICK WALL
PRECAST BAND
EXISTING MTL. WALL CAP BEYOND
CENTER LIGHT OVER DOOR
PARGECOAT ON CONCRETE STEM



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CONSULTANTS:		

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PROJECT No: NJAW2001	DATE: JUNE 2021	SCALE: AS SHOWN	

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**NEW JERSEY
AMERICAN WATER**

**RMWTP Ammonia Handling Facility
Improvements**

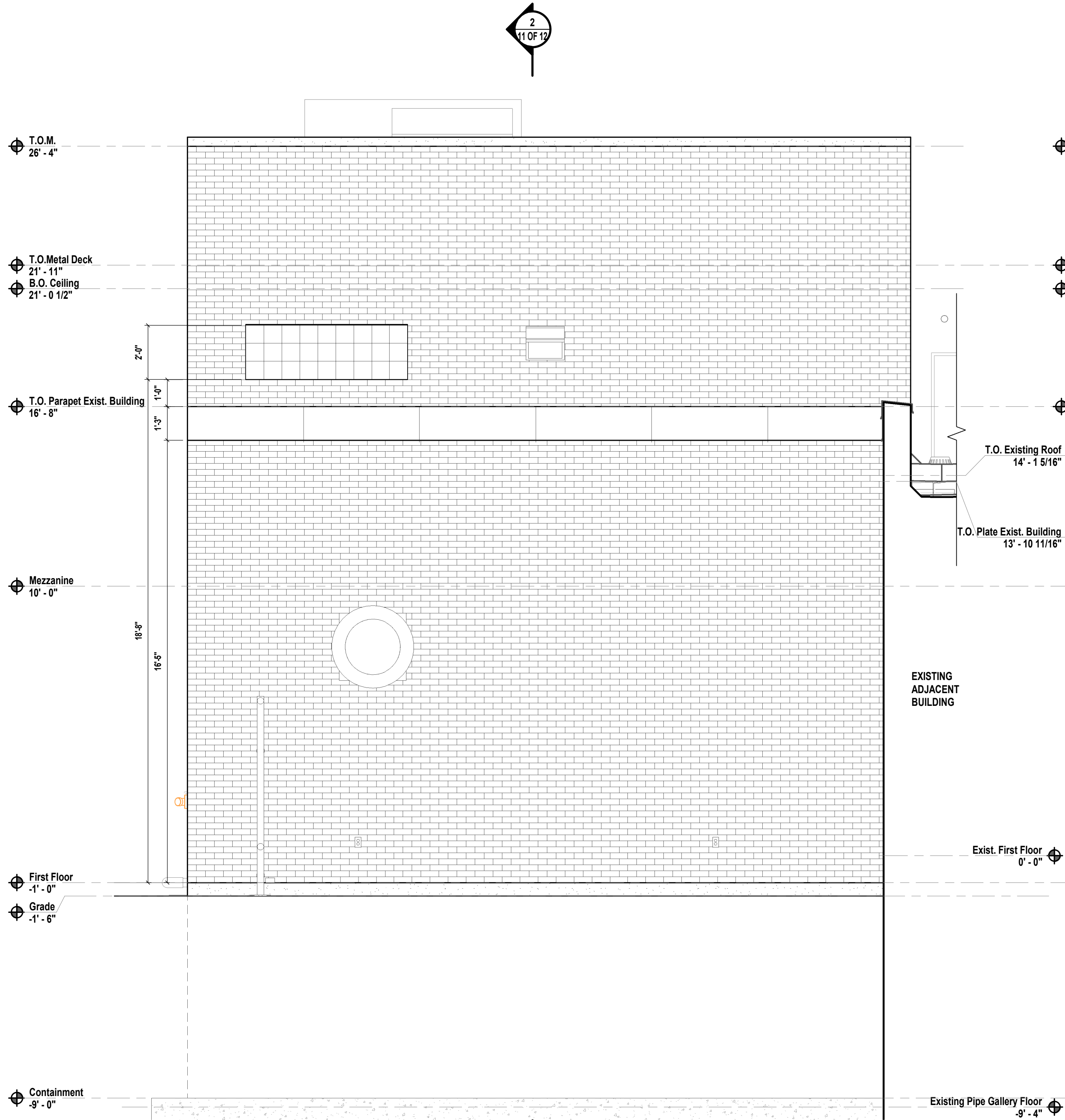
**Raritan-Millstone Water Treatment
Plant**

STATUS
PLANNING BOARD SUBMISSION

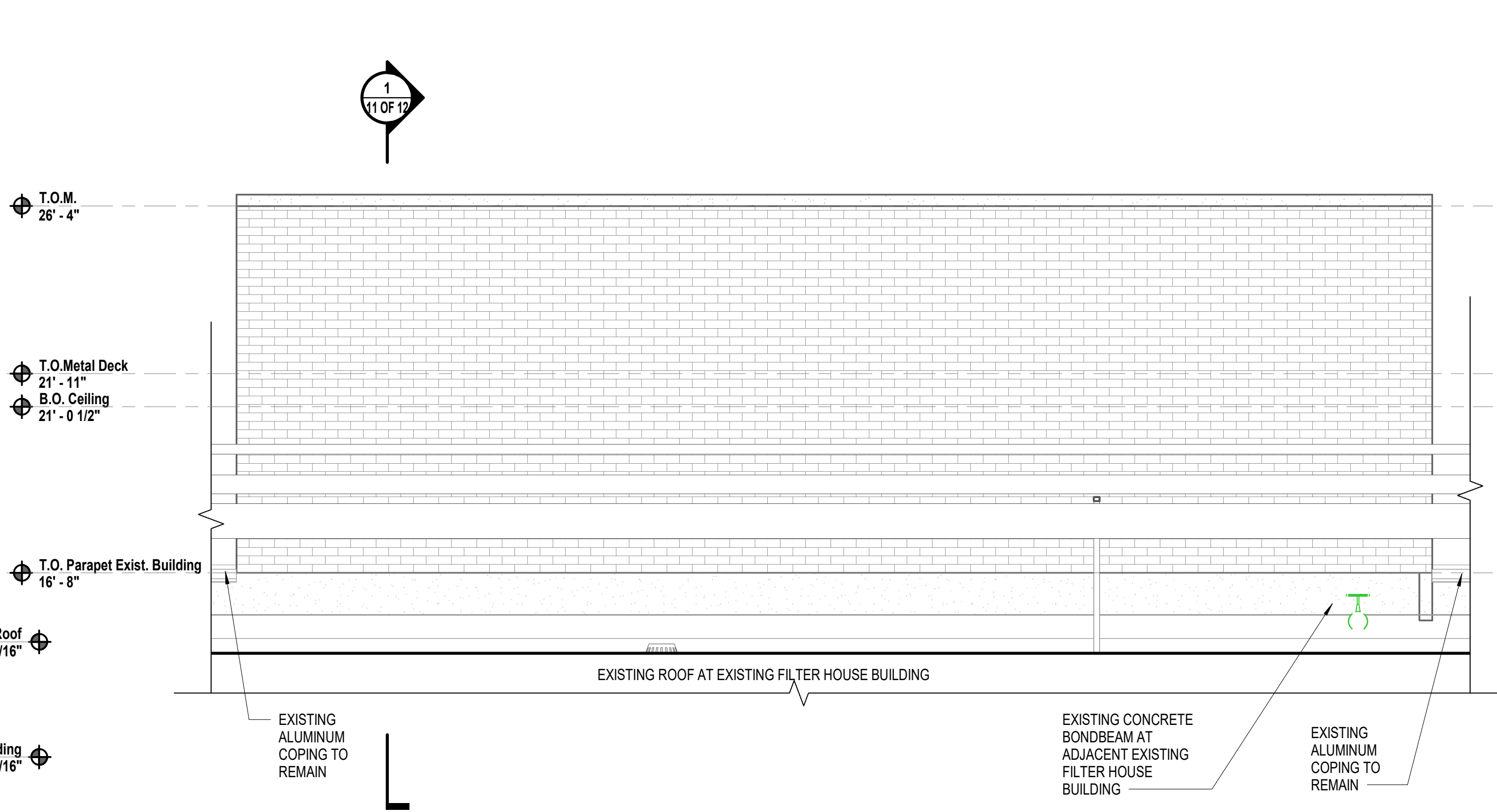
SHEET TITLE
BUILDING ELEVATIONS

DRAWING No.
9 OF 12.

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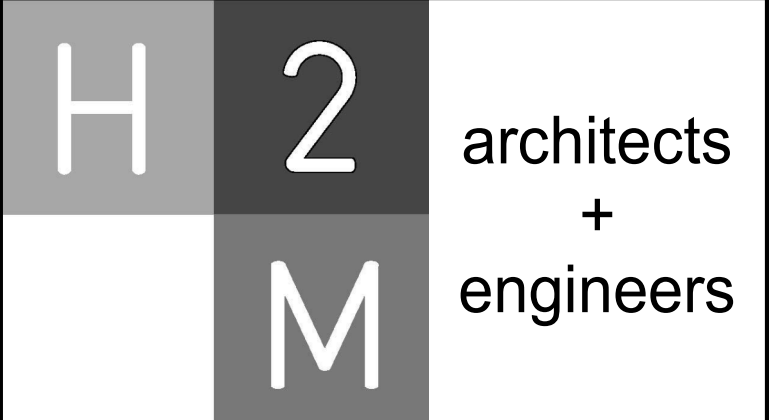


3 Ammonia Building West Elevation
SCALE: 3/8" = 1'-0"



4 Ammonia Building South Elevation
SCALE: 3/8" = 1'-0"

ELEVATION LEGEND:	
(1001A)	DOOR TAG. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION
◊	WINDOW TAG. REFER TO WINDOW TYPES FOR ADDITIONAL INFORMATION



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**RMWTP Ammonia Handling Facility
Improvements**



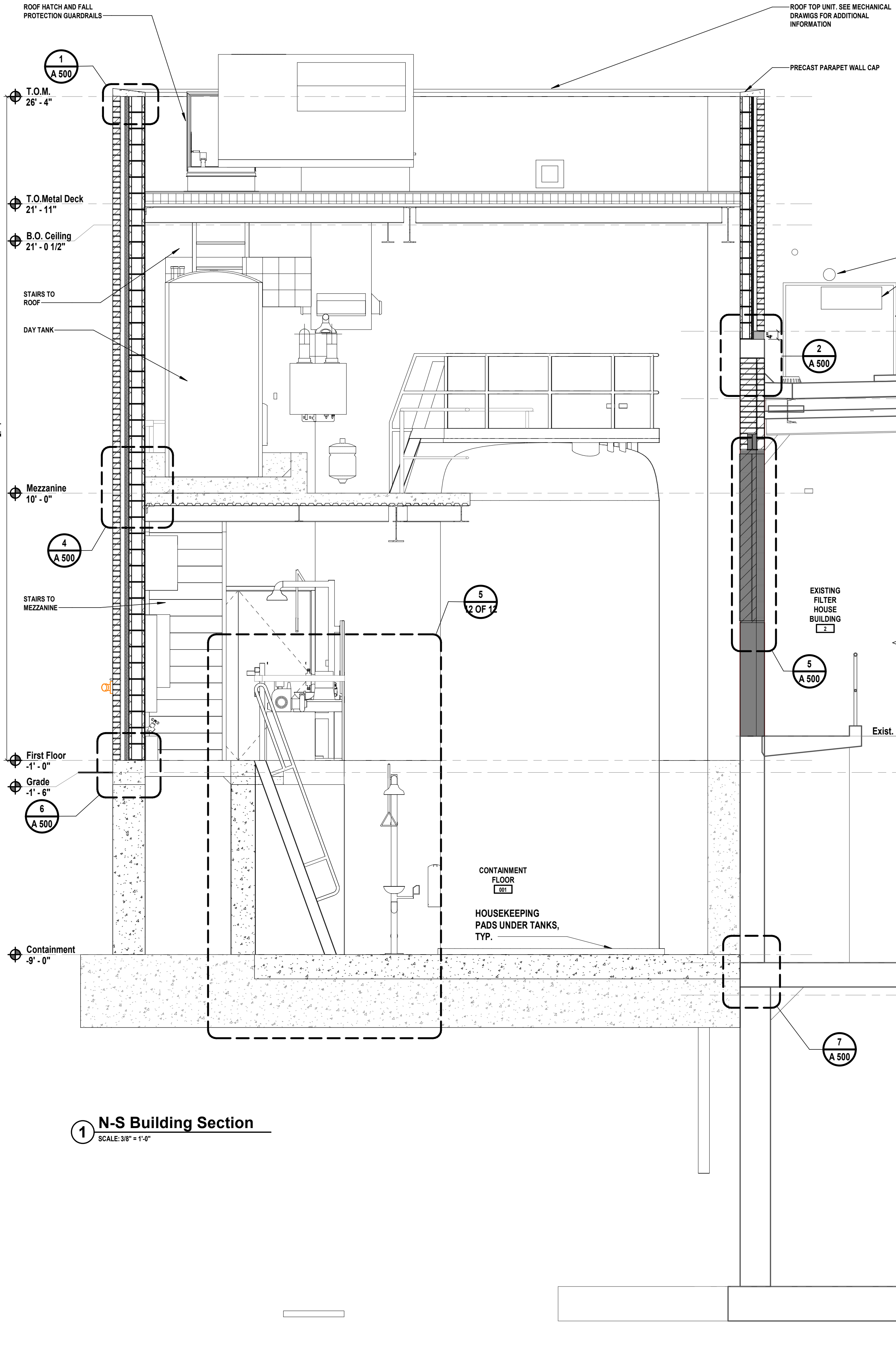
**Raritan-Millstone Water Treatment
Plant**

STATUS
PLANNING BOARD SUBMISSION

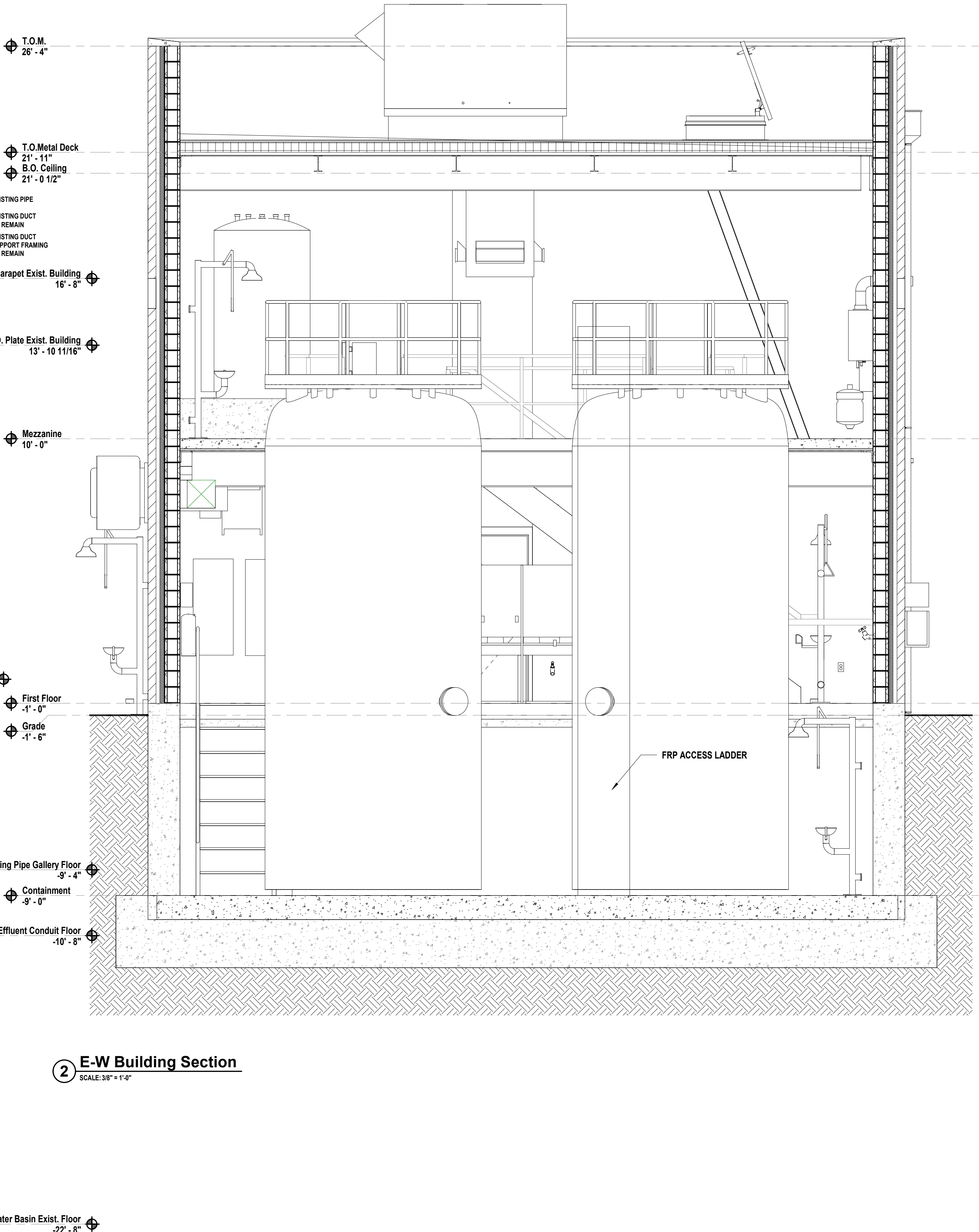
SHEET TITLE
BUILDING ELEVATIONS

DRAWING No.
10 OF 12.

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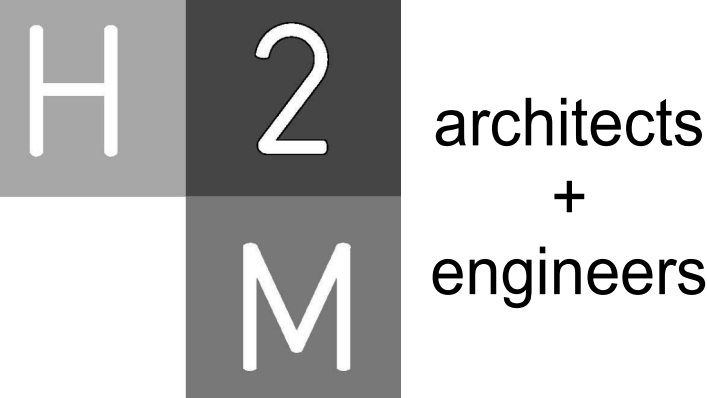
1 N-S Building Section
SCALE: 3/8" = 1'-0"



2 E-W Building Section
SCALE: 3/8" = 1'-0"

BUILDING SECTION NOTES:

- ALL WALLS, FLOORS, CEILINGS, ROOF AREAS SHALL BE INSULATED HEREIN TO MAINTAIN A CONTINUOUS THERMAL ENVELOPE REQUIRED BY THE ENERGY CODE.
- AIR SEAL: ALL JOINTS/ PENETRATIONS AND OTHER SUCH OPENINGS MADE WITHIN THE BUILDING THERMAL ENVELOPE THAT ARE SOURCES OF AIR LEAKAGE SHALL BE FULLY SEALED IN ACCORDANCE WITH THE 2015 IECC AND APPLICABLE SUPPLEMENTS.



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AMERICAN WATER**

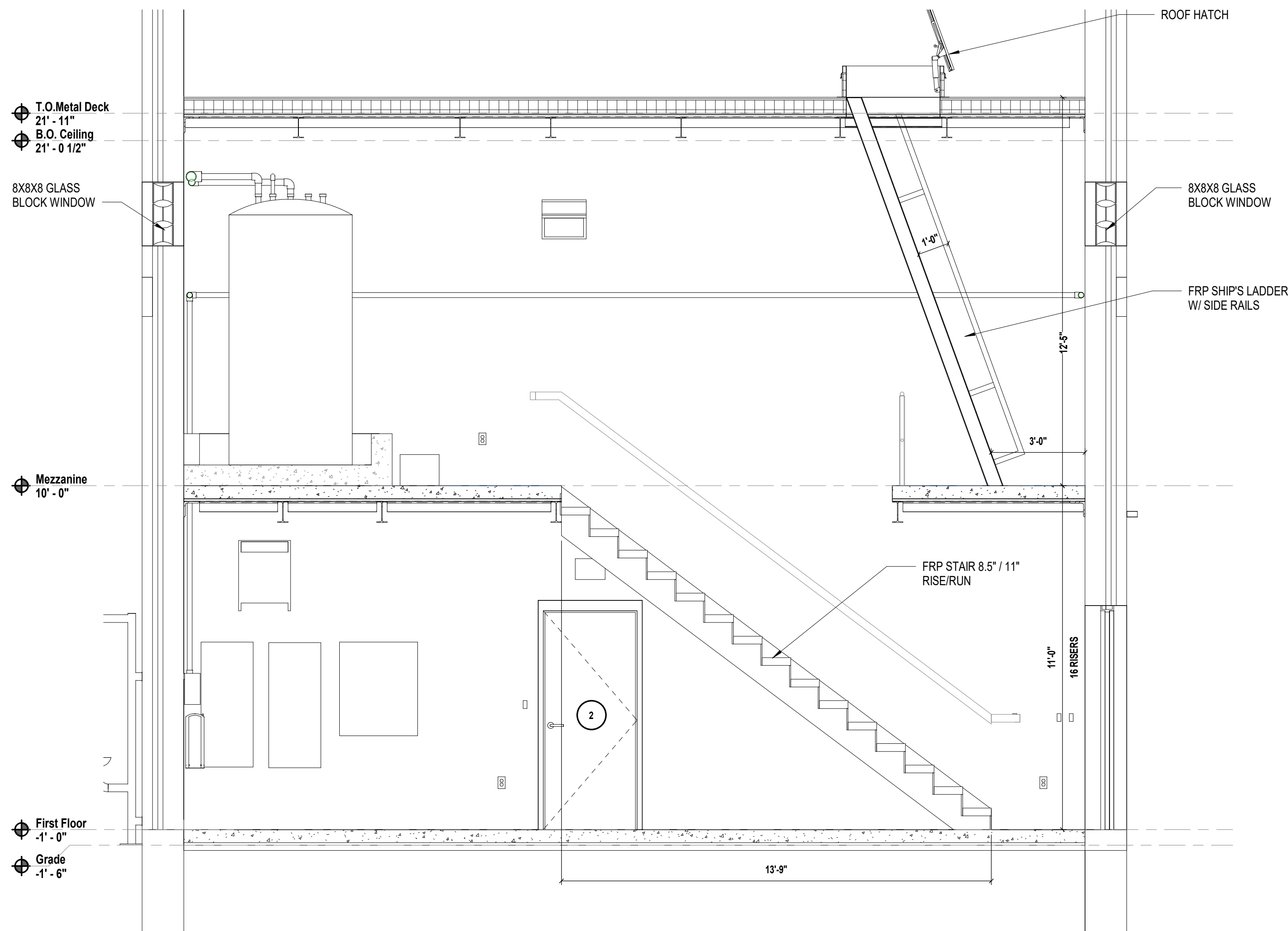
**RMWTP Ammonia Handling Facility
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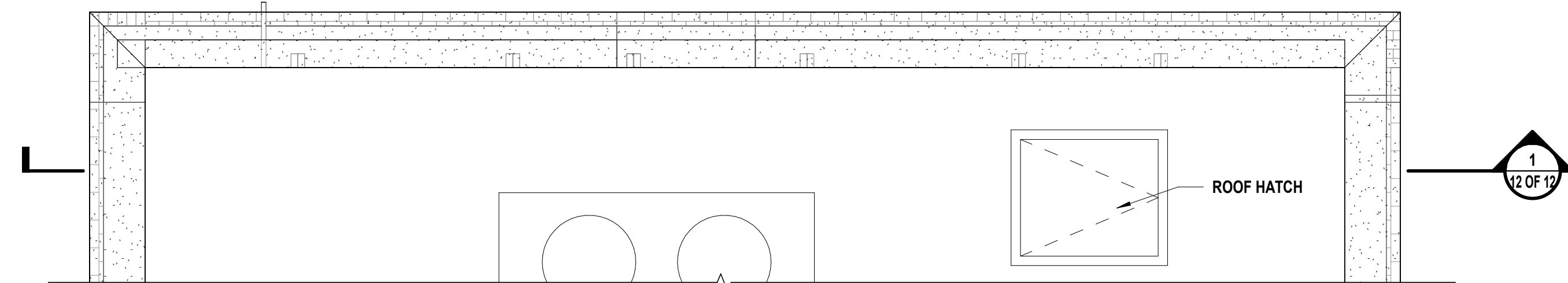
**Raritan-Millstone Water Treatment
Plant**

STATUS
PLANNING BOARD SUBMISSION
SHEET TITLE
BUILDING SECTIONS
DRAWING No.
11 OF 12.

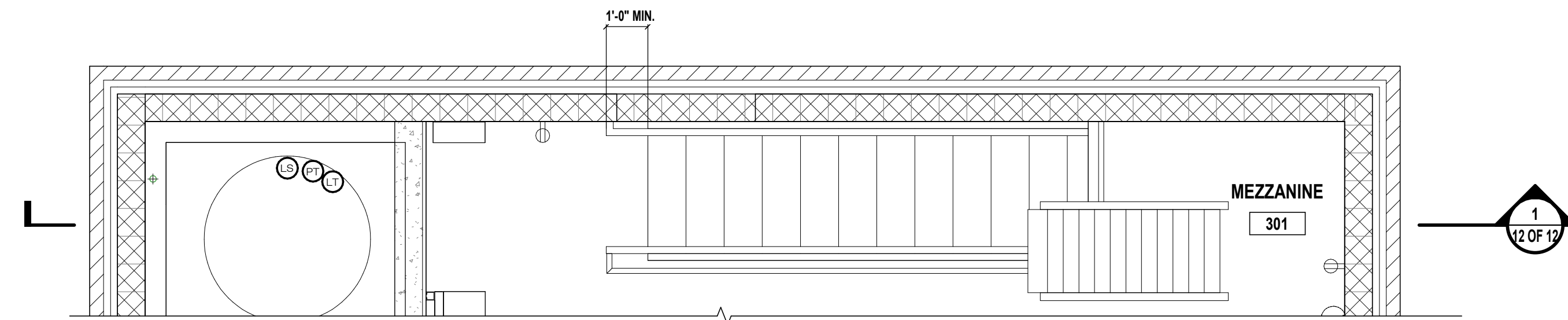
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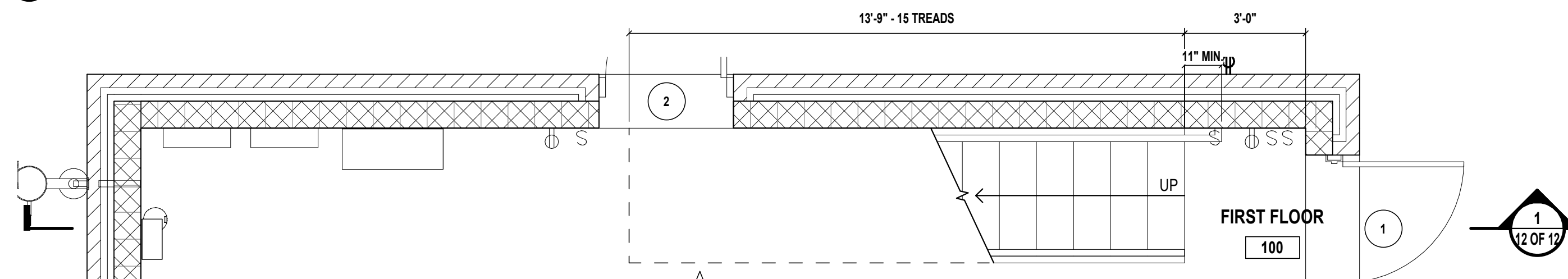
1 Stair Section
SCALE: 3/8" = 1'-0"



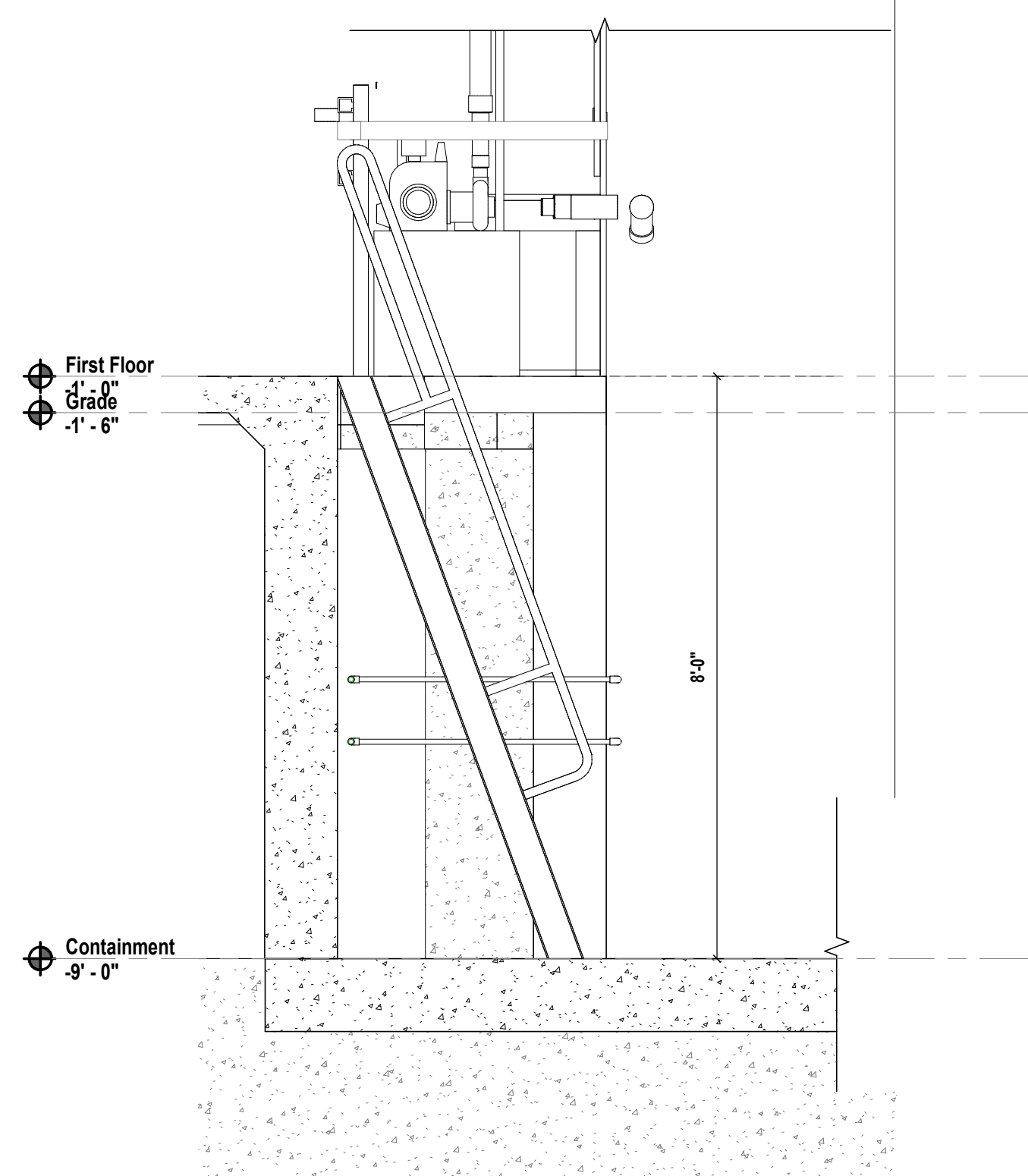
2 Roof Enlarged Stair Plan
SCALE: 3/8" = 1'-0"



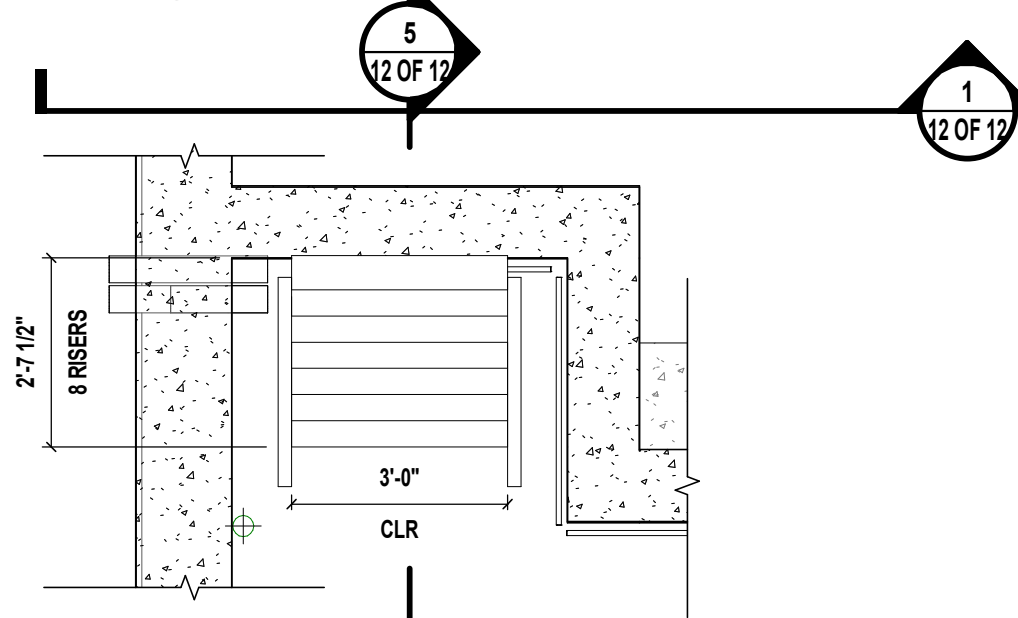
3 Mezzanine Enlarged Stair Plan
SCALE: 3/8" = 1'-0"



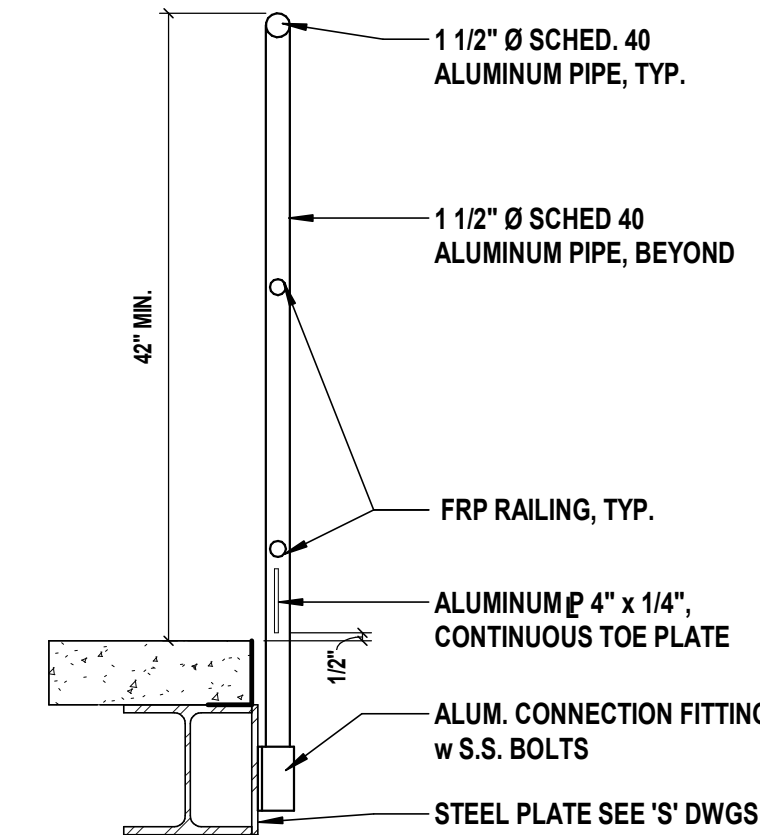
4 First Floor Enlarged Stair Plan
SCALE: 3/8" = 1'-0"



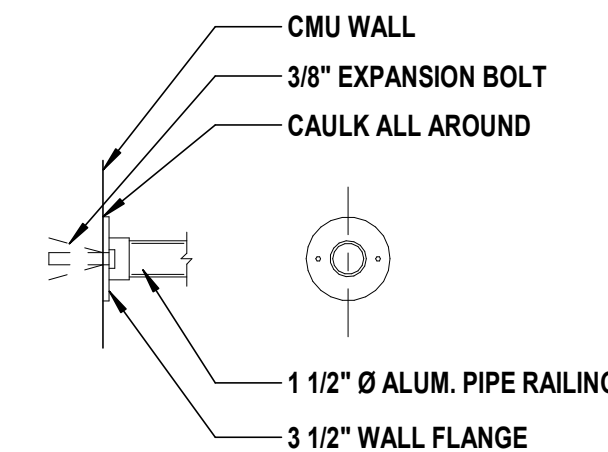
5 Containment Ladder Section
SCALE: 1/2" = 1'-0"



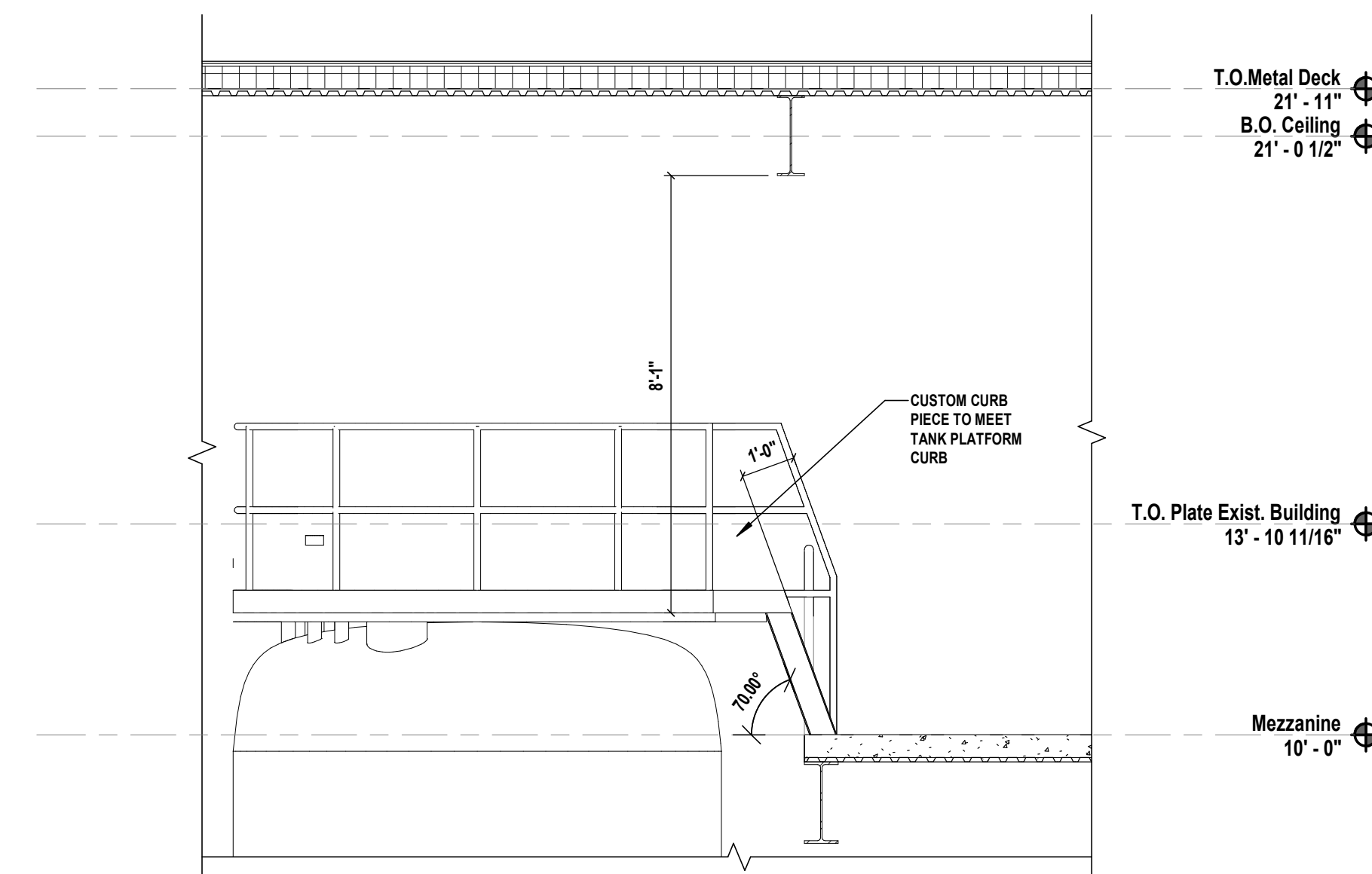
6 Containment Ladder Floor Plan
SCALE: 3/8" = 1'-0"



7 Section of a Guardrail
SCALE: 1" = 1'-0"



8 Rail Anchoring Detail
SCALE: 1 1/2" = 1'-0"



9 Ship Stair to Tank Section
SCALE: 3/8" = 1'-0"

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PROJECT No:	DATE:	SCALE:	
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Raritan-Millstone Water Treatment
Plant

STATUS
PLANNING BOARD SUBMISSION

SHEET TITLE
STAIR PLANS AND SECTIONS

DRAWING No.
12 OF 12.