



Central NJ Office
 32 Brower Lane, P.O. Box 5877
 Hillsborough, New Jersey 08844-5877
 Tel: 908.359.8291
 Fax: 908.359.1580
 headquarters@vcea.org

Letter of Transmittal

Date: November 14, 2018	Job No: 5902
Re: Redwood Inn Block 652, Lots 36 & 37 Bridgewater Township Somerset County, New Jersey	

FILE COPY

To: Scarlett Doyle
 Bridgewater Township Planner
 100 Commons Way
 Bridgewater, New Jersey 08807

WE ARE SENDING YOU THE FOLLOWING ITEMS:

- Attached via Hand-Delivery Under Separate Cover
- Shop Drawings Prints Plans Samples Specifications
- Copy of Letter Change Order Other –

COPIES	DATE	DESCRIPTION
24 sets	10/26/18	Bridgewater Township Preliminary & Final Major Subdivision Application Package; Somerset County Planning Board Land Development Application; Property Owners Listing; Property Deeds
24 sets	10/31/18	Preliminary & Final Subdivision Plans for Redwood Inn
2	9/29/17	Stormwater Management Report for Redwood Inn

THESE ARE TRANSMITTED as checked below:

- | | | |
|---|--|---|
| <input type="checkbox"/> FOR REVIEW AND APPROVAL | <input type="checkbox"/> APPROVED AS SUBMITTED | <input type="checkbox"/> RESUBMIT ___ COPIES FOR APPROVAL |
| <input type="checkbox"/> FOR YOUR USE AND INFORMATION | <input type="checkbox"/> APPROVED AS NOTED | <input type="checkbox"/> SUBMIT ___ COPIES FOR DISTRIBUTION |
| <input type="checkbox"/> FOR REVIEW AND COMMENT | <input type="checkbox"/> RETURNED AFTER LOAN TO US | <input type="checkbox"/> FOR BIDS DUE ON: |
| <input type="checkbox"/> AS REQUESTED | <input checked="" type="checkbox"/> OTHER: | DATE: _____ |

Remarks: For distribution to Board Members

Christopher A. Melick, PLS, PP

CC:

FORM # 3B

**TOWNSHIP OF BRIDGEWATER
SOMERSET COUNTY, NEW JERSEY**

Board File Name: _____

Application #: _____

Date: _____

(Do not write above this line)

APPLICATION: PRELIMINARY MAJOR SUBDIVISION

(With or Without Variances)

Please check this box if this is an amendment to an approved preliminary subdivision. If so, please submit 24 sets of approved layout and one full set of approved plans. Also submit 24 copies of the resolution of memorialization.

1. Applicant's name: Township of Bridgewater

Address: 100 Commons Way

E-mail address: _____ Phone: 908-725-6300 Fax: 908-429-0586

2. Name and address of present owner (if other than #1 above)

Name: Bridgewater Township

Address: 100 Commons Way

E-mail address: _____ Phone: 908-725-6300 Fax: 908-429-0586

3. Attorney's name: William B. Savo, Esq

Address: 77 N Bridge St, Somerville, NJ 08876

E-mail address: savo@centraljerseylaw.com Phone: (908) 526-0707 Fax: (908) 725-8483

4. Preparer/Engineer's name: Christopher A. Melick License # 35860

Address: 32 Brower Lane, Hillsborough, NJ 08844 Email: cmelick@vcea.org

License No: 35860 Phone 908-359-8291 Fax: 908-359-1850

5. Location of Subdivision Mountain Top Road R40

(Street)

(Zone)

Block 653 Lots 36 & 37

32 & 86

(Block and Lot #'s)

(Tax Sheet #)

6. Number of proposed Lots: 8 Area of entire tract: 7.68 acres

7. Area in wetlands: 0.27AC Area in flood hazard zone: 0.0

- 8. Deed restrictions that affect the property. (If no restrictions, state "None" if "Yes" attach copy of deed restrictions) None
- 9. List of maps, documents and other material accompanying application, number of each and date of document
(Use Separate Sheet)

NOTE: ALL EXHIBITS PRESENTED AND MARKED AT THE HEARING MUST BE CLIPPED (NOT MOUNTED WITH ADHESIVE) TO THE FOAM BOARD.

All exhibits will be kept in the application file and the foam boards will be returned at the meeting.

- 10. List any adjoining lands owned by owner or applicant

Block(s) _____, Lot(s) _____, Area _____, Acre _____.

No Adjoining Land

Signature of applicant: _____

Date: 10/26/2018

PRELIMINARY MAJOR SUBDIVISION CHECKLIST

Applicant Township of Bridgewater Block(s) 653 Lot (s) 36 & 37

Applicant Bwt.

X	
NA	
X	
X	
X	

1. *Twenty four (24) sets* of the application form, checklist, fee schedule with calculations and supporting documentation and Preliminary Plans. **All documents submitted must be collated into (24) sets.**

(or you may choose the option below)

2. OPTION: You may choose to submit (3) full sets of documents for completeness review only. When the documents submitted comply with the submission requirements, we will notify you to submit the other (21) sets in order to be deemed complete. This option is made available to applicants in an effort to save resources expended on numerous plans that may need to be revised and resubmitted.

3. If the application involves a request for a *subdivision or site plan* including land development of more than 50 dwelling units or 50,000 square feet of non-residential building space or all major subdivisions or site plans within 500 feet of a municipal border or critical natural resources like primary or secondary streams identified in the County Open Space Plan, that may affect neighboring jurisdictions, *you must submit a copy of the full application packet including plans to Somerville Borough and Raritan Borough and provide proof of submission/ mailing.*

4. Provide proof of submission of full application including plans to the local Fire Department. You may contact the Fire Official to confirm correct Fire Department for your Block and Lot at (908) 725-6300 ext. 263. List name and address you submitted to:

Fire Department: Martinsville Fire Department, Fire District #1

Address: 1912 Washington Valley Road
Martinsville, New Jersey 08836

5. All fees must be paid.

Application fee: 0.00 Escrow Fee: 0.00

(Fee Schedule with calculations must be submitted, including a signed W-9)

6. Consent by Owner form, signed and notarized by owner even if the applicant is the owner

X	
X	
X	
X	
X	
X	
X	
X	
X	
X	
X	
X	
X	
X	

7. Letter of intent stating a) type of structure to be erected
b) approximate date of start of construction c) a tentative phasing plan for the entire Subdivision indicating all facilities including the estimated number of lots on which final approval will be requested for the first section.
8. Zoning Chart listing required, existing and proposed setbacks, height, floor area ratio, improved lot coverage, and all other information included in the schedule of area and yard requirements.
9. Key map. Scale not to exceed 1" =800': Key map is to show zoning within 200 feet of property.
10. Lots: existing and proposed layouts, dimension and metes and bounds.
11. Show individual lots in square feet and acreage
12. Record owner, name and address of property to be subdivided; if other than an individual, the corporate officers or partner or other statutory agent.
13. Note owner or applicant's last name and block(s) and lot(s) in the title block
14. Applicant's name and address
15. Person who prepared map, official seal and license number
16. Copy of deeds of property and deed restrictions
17. Size of Map should be in accordance with the Map Filing Laws
18. North arrow and graphic scale
19. Property owners within 200 feet of entire tract with their designated Block and Lot numbers
20. Acreage of total tract to be subdivided to the nearest hundredth of an acre
21. Elevations, contours on site and structures for a 200 foot distance around entire tract to be subdivided. Five foot intervals for slopes averaging 10% or greater. Two foot contour intervals for slopes of lesser percentage
22. Streets (existing and proposed) including right of way widths
23. Utilities: water, gas, electric in existing and proposed streets

X	
X	
NA	
NA	
X	
X	
X	
X	
X	
X	
X	
NA	
X	
X	
X	
NA	
NA	
W	
X	

24. The signature block must be located directly above the title block in the lower right hand corner of the plans. Plans are considered folded correctly when the title block and signature block are visible without opening the plans. **Full name and title of the chairman, secretary and engineer must be lettered on the plan immediately below the signature line.**
25. Storm drainage plan with calculations and introductory narrative
26. Percolation test, locations, log profile and testing data and design
27. Off site improvements
28. Setbacks; show all existing and proposed setback lines noting distances of structures to property lines as appropriate
29. All deed restrictions shall be shown on the plans
30. Open space and detention basin– area, ownership
31. Soils delineation to be shown on the plans
32. Certification from Tax Collector that taxes are paid (attach letter)
33. An Environmental Impact Statement. Waivers are not permitted if any slopes on-site exceed 15% or if property is in a flood plain area
34. Hillside slope calculations exhibit if slopes exceed 10% (Statement added to plan)
35. Flood hazard exhibit or a letter from the designing engineer stating that the tract is not in the flood hazard area
36. Statement from the designing engineer stating that the plans are in compliance with Residential Site Improvements Standards (RSIS)
37. Soil Erosion and Sediment Control Plan
38. Evidence of referral to other appropriate governmental agencies (including Somerset County)
39. Documented request for waiver from any ordinance requirement
40. Description of request for a hardship variance, conditional use or special permit
41. Provide letter from the Somerset – Raritan Sewage Authority stating that it has the capacity for and will accept and treat the effluent from the proposed development.
42. Show all existing trees as follows: Deciduous 12” dbh or greater; Non-Deciduous 8” dbh or greater; Dogwoods 4” dbh or greater

X	
X	
X	

43. Provide a letter from the water supplier stating that the water system as proposed is adequate for the development. The letter shall state the present safe daily yield of the system, the expected demand by the development on the system and the remaining safe daily yield of the system.

44. Proposed landscaping and street trees shall be in accordance with the Landscaping ordinance.

45. Survey of property, signed and sealed by a licensed surveyor

X *Christopher A. Mabe*

10/26/18

Signature of person preparing checklist

Date

The applicant may request that one or more of the submission requirements be waived; however, the request must be in writing and state the reason for the waiver request. If the submission waiver is honored during completeness review, the Board still has the right to request the same information during the hearing process in addition to any other information they deem necessary for proper review of the application.

NOTICE REQUIREMENTS:

The following proof of satisfying the notice requirements must be filed with the Land Use Administrator in the Planning Department a minimum of 48-hours prior to the hearing date:

1. Affidavit of Service.
2. Copy of the notice served.
3. Certified list of property owners within 200 feet and others served with manner of service
4. Certified Mail receipts stamped by the USPS
5. Affidavit of publication from the newspaper in which the notice was published.

TOWNSHIP OF BRIDGEWATER
SOMERSET COUNTY, NEW JERSEY

FORM # 3C

Board File Name: _____

Application #: _____

Date Filed: _____

(Do not write above this line)

APPLICATION: FINAL MAJOR SUBDIVISION

Please check this box if this is an amendment to an approved final Subdivision. If so, please submit 24 copies of lot layout and one full set. Also submit 24 copies of the approved resolution.

1. Applicant's name: Township of Bridgewater

Address: 100 Commons Way

E-mail address: _____ Phone: 908-725-6300 Fax: 908-429-0586

2. Owner's name: Bridgewater Township

Address: 100 Commons Way

Phone: 908-725-6300 Fax: 908-429-0586 Email: _____

3. Attorney's name: William B. Savo, Esq.

Address: 77 N. Bridge Street, Somerville, NJ 08876

E-mail address: savo@centraljerseylaw.com Phone: 908-526-0707 Fax: 908-725-8483

4. Plan Preparer/Engineer's name: Christopher M. Melick

Address: 32 Brower Lane, Hillsborough, NJ 08844 Email: cmelick@vcea.org

License #: 35860 Phone: 908-359-8291 Fax: 908-359-1580

5. Approval date of Preliminary Major Subdivision Concurrent with Preliminary Application

6. Does the Final Plat follow exactly the Preliminary Plat in regard to all details and area covered?

 If not, indicate changes _____

7. Attach 24 copies of the lot layout and two full sets of the Preliminary Plat as approved by the Planning Board

8. Number of lots proposed for Final Approval 8

9. List of maps, documents and other materials accompanying application, number of each and date of preparation (Use separate sheet)

Signature of applicant _____ Date: 10/26/2018

FINAL MAJOR SUBDIVISION CHECKLIST

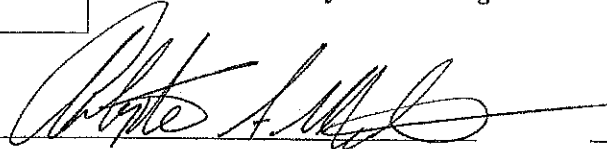
Applicant Bridgewater Township Date _____
 Block(s) 653 Lot (s) 36 & 37 Application #: _____

App. Bwt.

X		<p>1. Twenty four (24) sets of the Application form with supporting documentation as required, including this checklist and Plats. This and all other documents you wish to submit <i>MUST be collated</i> into (24) sets.</p> <p>(or you may select the following option)</p>
		<p>2. OPTION: You may choose to submit (3) full sets of documents for completeness review only. When the documents submitted comply with the submission requirements, we will notify you to submit the other (21) sets in order to be deemed complete. This option is made available to applicants in an effort to save resources expended on numerous plans that may need to be revised and resubmitted.</p>
		<p>3. All fees must be paid.</p> <p style="padding-left: 40px;">Application fee: <u>N/A</u> Escrow Fee: <u>N/A</u></p> <p style="padding-left: 40px;">(Fee Schedule with calculations must be submitted, including a signed W-9)</p>
NA		<p>4. If the application involves a request for a <i>subdivision or site plan</i> including land development of more than 50 dwelling units or 50,000 square feet of non-residential building space or all major subdivisions or site plans within 500 feet of a municipal border or critical natural resources like primary or secondary streams identified in the County Open Space Plan, that may affect neighboring jurisdictions, <i>you must submit a copy of the full application packet including plans to Somerville Borough and Raritan Borough and provide proof of submission/ mailing.</i></p>
		<p>Plats should contain the following data:</p>
X		<p>1. Identification – Name of Subdivision</p>
X		<p>2. Tract boundary lines, rights-of-way lines of street names, easements and other rights-of way, land to be reserved or dedicated to public use, all lot lines with accurate dimensions, bearings of deflection angles and radii, arcs and chord bearings, distances, arc lengths, radii of all curves and areas of each lot in square feet and area of all dedicated lands</p>
X		<p>3. Location of easements or public dedications</p>
X		<p>4. Block(s) and Lot(s) as approved by the Tax Assessor (attach letter)</p>

X	
X	
X	
X	
X	
W	
X	
X	

5. Monuments existing or to be set
6. Consent of owner certification, signed and notarized even if the applicant is the owner
7. Certification by letter from Engineer or Land Surveyor that the final plat is consistent with the approved Preliminary plat
8. Proof that current taxes are paid (Attach letter from the Tax collector)
9. Additional exhibits required by the Board as a condition of Preliminary approval
10. Submit deeds of property and deeds of easement
11. Please note that after approval of plans, submit mylars, for Signatures. Two mylars and nine prints MUST be returned to the Planning Board office after filing with the County Clerk.
12. Completed Compliance Report indicating compliance with requirements and conditions of Preliminary approval
13. The size of Maps should be in accordance with the Map Filling Laws
14. The signature block must be located directly above the title block in the lower right hand corner of the plans. Plans are considered folded correctly when the title block and signature block are visible without opening the plans. **Full name and title of the chairman, secretary and engineer must be lettered on the plan immediately below the signature line.**

X  _____ 10/26/18
 Signature of Person Completing Checklist Date

The applicant may request that one or more of the submission requirements be waived; however, the request must be in writing and state the reason for the waiver request. If the submission waiver is honored during completeness review, the Board still has the right to request the same information during the hearing process in addition to any other information they deem necessary for proper review of the application.

NOTICE REQUIREMENTS:

The following proof of satisfying the notice requirements must be filed with the Land Use Administrator in the Planning Department a minimum of 48-hours prior to the hearing date:

1. Affidavit of Service.
2. Copy of the notice served.
3. Certified list of property owners within 200 feet and others served with manner of service
4. Certified Mail receipts stamped by the USPS
5. Affidavit of publication from the newspaper in which the notice was published.

SOMERSET COUNTY PLANNING BOARD

Telephone (908) 231-7021; Fax (908) 707-1749; TDD (908) 231-7168
P.O. Box 3000, Somerville, N.J. 08876-1262

LAND DEVELOPMENT APPLICATION FORM CHECKLIST & REVIEW FEE SCHEDULE

The *Somerset County Land Development Review Resolution* requires that certain proposed land development proposals be submitted to the Somerset County Planning Board for review and, where required, approval. Land development activities subject to County Planning Board approval include:

- All subdivisions and resubdivisions of land within Somerset County.
- All site plans for land development
- Change of Use applications

This application form shall be completed by the applicant, or the applicant's designated agent and submitted with all required documents to the Somerset County Planning Board. This application consists of three (3) parts, each of which shall be completed as indicated.

- Part I – Project Information
- Part II – Review Fee Schedule
- Part III – Submission Contents Checklist

One set of plans and supporting documents shall be submitted.

Somerset County is an equal opportunity employer.

PART I – PROJECT INFORMATION

For new land development applications, complete Sections A-E and sign the application in Section F. For resubmissions and revisions, fill out Section A, update Sections B-E for any change in information, and sign the application in Section F.

SECTION A – PROJECT IDENTIFICATION

PROJECT NAME Redwood Inn - Residential Subdivision

MUNICIPALITY Township of Bridgewater

BLOCK(S) 653 LOT(S) 36 & 37

STREET ADDRESS Mountain Top Road

TAX MAP PAGE 32 & 86 DATE OF PLANS BEING SUBMITTED _____

LOCAL BOARD REVIEWING APPLICATION:

PLANNING BOARD _____ BOARD OF ADJUSTMENT _____

COUNTY PLANNING BOARD FILE # _____ (for resubmissions/revisions)

SECTION B – APPLICANT AND CONTACT INFORMATION

APPLICANT'S NAME Township of Bridgewater

ADDRESS 100 Commons Way, Bridgewater, NJ 08807

TELEPHONE 908-725-6300 FAX 908-429-0586

E-MAIL _____

PLAN PREPARER'S NAME Christopher A. Melick

PLAN PREPARER'S ADDRESS 32 Brower Lane, Hillsborough, NJ 08844

TELEPHONE 908-359-8291 FAX 908-359-1580

E-MAIL cmelick@vcea.org

ATTORNEY'S NAME William B. Savo

ATTORNEY'S ADDRESS 77 Bridge Street., Somerville, NJ 08876

TELEPHONE 908-526-0707 FAX 908-725-8483

E-MAIL savo@centraljerseylaw.com

SECTION C – SITE DATA

AREA OF TRACT 7.68 acres

DEDICATED OPEN SPACE -0- acres

PUBLIC SEWER YES _____ NO _____
 PUBLIC WATER YES _____ NO _____
 REDEVELOPMENT YES _____ NO _____

SECTION D – SUBDIVISION INFORMATION

SUBDIVISION TYPE RESIDENTIAL (✓) X NONRESIDENTIAL (✓) _____
 NUMBER OF NEW BUILDING LOTS 8
 NEW BUILDING LOTS PROPOSED UNDER FAIR HOUSING ACT _____
 TOTAL AREA OF NEW BUILDING LOTS _____ acres
 AVERAGE AREA OF NEW BUILDING LOTS _____ acres
 NUMBER OF MULTI-FAMILY LOTS _____
 LENGTH OF NEW STREET _____ linear feet

SECTION E – SITE PLAN INFORMATION

<u>TYPE (✓)</u>	<u>NUMBER OF UNITS</u>	<u>AMOUNT OF NEW SQ. FOOTAGE</u>	<u>NUMBER OF NEW PARKING SPACES</u>
_____ RESIDENTIAL	_____	_____	_____
Living Units	_____	_____	_____
Attached Units	_____	_____	_____
Fair Housing Act Units	_____	_____	_____
_____ COMMERCIAL/RETAIL	_____	_____	_____
_____ OFFICE	_____	_____	_____
_____ INDUSTRIAL/WAREHOUSE	_____	_____	_____
_____ PUBLIC/INSTITUTIONAL	_____	_____	_____
_____ OTHER	_____	_____	_____

SECTION F - SIGNATURE

SIGNED _____ DATE _____
 (SIGNATURE OF APPLICANT OR AGENT)

PART II – REVIEW FEE SCHEDULE

A review fee shall apply to each subdivision and land development submitted to the Somerset County Planning Board for review in accordance with the New Jersey County Enabling Act, Section 40 27-6.2 and 40 27-6.6. Fees shall be submitted with the submission package to the County Planning Board located in the County Administration Building, 20 Grove Street, Somerville, New Jersey. Only certified checks or money orders, payable to Treasurer, County of Somerset, will be accepted. Review will not commence until the proper fees and accompanying plans and supporting documents are received by the County Planning Board. The review fee is non-refundable.

One pre-application meeting and/or submission of a concept plan will be considered by the Planning Board when requested by the applicant. Subsequent meetings and reviews of documents will only be considered upon receipt of a completed Somerset County Land Development Application Form and Checklist with the appropriate fee.

Complete all sections of the fee schedule below that apply.

SECTION A – REVIEW FEE EXEMPTION (Check reason for exemption)

1. Lot line adjustments where no building lots are being created.
2. Minor building additions not on a county road involving less than 1,000 sq. ft. and no additional parking.
3. Plans submitted by a duly recognized nonprofit institution or municipality.
4. Housing units proposed as per the Fair Housing Act. *Only the specific housing units or lots proposed under the Fair Housing Act are exempt from the review fee.*

SECTION B – SUBDIVISION REVIEW FEE (Check appropriate category)

If uncertain whether the proposed development impacts a County facility, the applicant should submit the lesser fee. If the County determines that the project impacts a County facility, the County will notify the applicant as to the correct fee in the first County Planning Board report.

1. A minor subdivision which contains two (2) or fewer new lots, which does not impact a County road or drainage facility as determined by the County.
\$150.00 flat fee \$ _____
2. A minor subdivision which contains two (2) or fewer new lots, which impacts a County road or drainage facility as determined by the County.
\$200.00 flat fee \$ _____
3. A major subdivision which contains three (3) or more new lots, which does not impact a County road or drainage facility as determined by the County.
\$300.00 flat fee \$ _____
4. A major subdivision which contains three (3) or more new lots, which impacts a County road or drainage facility as determined by the County.
\$400.00 flat fee plus \$ _____
\$20.00 per new lot + \$ _____
5. A Final Plat
\$300.00 flat fee \$ _____

SECTION C – SITE PLAN REVIEW FEE (Check appropriate category)

If uncertain whether the proposed development impacts a County facility, the applicant should submit the lesser fee. If the County determines that the project impacts a County facility, the County will notify the applicant upon issuance of the first County Planning Board report.

1. _____ A site plan which does not impact a County road or drainage facility as determined by the County.
\$150.00 flat fee \$ _____
2. _____ A site plan which impacts a County road or drainage facility as determined by the County.
\$400.00 flat fee plus \$ _____
\$10.00 per parking stall **Commercial/Office** + \$ _____
\$2.00 per 100 sq. ft. **Industrial** + \$ _____
\$20.00 per dwelling unit **Residential** + \$ _____

For projects requiring a more detailed engineering/planning review, an escrow account may be required to cover the actual cost of completing the review of the project. The County Planning Board will advise the applicant of this amount when applicable.

SECTION D – TOTAL APPLICATION FEE \$ -0-

SECTION E – REVISION FEE (Check appropriate category)

A revision fee must be submitted for revised plans, stormwater management reports, traffic reports and other supporting documentation.

1. _____ 1st revision - no revision fee
 2. _____ 2nd and each subsequent revision
- | | | |
|-----------------|--|-----------------|
| \$150.00 | Minor Subdivision (2 or fewer new lots) | \$ _____ |
| \$300.00 | Major Subdivision (3 or more new lots) | \$ _____ |
| \$300.00 | All Site Plans | \$ _____ |

SECTION F – GEOGRAPHIC INFORMATION SYSTEM FEE (Check appropriate category)

A separate check shall be submitted for the Geographic Information System fee as listed below.

- | | | |
|---|--|---------------------|
| \$25.00 per plat plus | | \$ _____ |
| \$10.00 per new lot | | \$ _____ |
|
\$25.00 per site plan if proposed structure is greater the 400 sq. ft. | |
\$ _____ |

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS
645 5	821 MINE ROAD	2	LASPINA, NICHOLAS & RONNIE 821 MINE RD BRIDGEWATER, NJ 08807.1819
653 10	59 NICOLE TERR.	2	YUKNIS, GERALD M & MARY M 59 NICOLE TER BRIDGEWATER, NJ 08807.1453
653 11	60 NICOLE TERR.	2	BROOKNER, JEFFREY J & CARRIE 60 NICOLE TER BRIDGEWATER, NJ 08807.1453
653 12	61 NICOLE TERR.	2	KLUG, MICHELE 61 NICOLE TER BRIDGEWATER, NJ 08807.1453
653 13	62 NICOLE TERR.	2	COSTAS, JULIAN P JR & VARITA 62 NICOLE TER BRIDGEWATER, NJ 08807.1453
653 18	COMMON AREA	1	MANORS @ RUNNING BROOK HOMEOWNERS PO BOX 6676 BRIDGEWATER, NJ 08807.0676
653 19	1095 WEST BROOK ROAD	2	MCKINNEY, NORMAN J. & JOAN H. 1095 WESTBROOK RD BRIDGEWATER, NJ 08807.1419
653 20	1097 WEST BROOK ROAD	2	RINALDI, PHILIP & SUSAN 1097 WESTBROOK RD BRIDGEWATER, NJ 08807.1419
653 21	1200 GEIGER LANE	2	DUDASH, ROBERT J SR & DENISE P 1200 GEIGER LANE BRIDGEWATER, NJ 08807
653 22	1202 GEIGER LANE	2	SCANSAROLI, STEVEN & HANNAH 1202 GEIGER LN BRIDGEWATER, NJ 08807.1404
653 34	1499 MOUNTAIN TOP ROAD	2	SUTIPAYAKUL, EMORN O 1499 MOUNTAIN TOP RD BRIDGEWATER, NJ 08807.1836
653 35	1491 MOUNTAIN TOP ROAD	2	ROSENBLUM, RICHARD & VOGEL, S. 1491 MOUNTAIN TOP RD BRIDGEWATER, NJ 08807.1836
653 38	PAPEN RD. COMMON AREA	1	RUNNING BROOK HOMEOWNERS ASSOC. 67 GRANDNER CT BRIDGEWATER, NJ 08807.1450
654 11	1400 MOUNTAIN TOP ROAD	2	GLANZ, AMANDA B 1400 MOUNTAIN TOP RD BRIDGEWATER, NJ 08807.1842
654 13	808 MINE RD.	2	YONEZUKA-BROWN, RICHARD & ANASTASIA 808 MINE RD BRIDGEWATER, NJ 08807.1820
654 14	816 MINE ROAD	2	DEBARI, GIOVANNI M & ANGELA 816 MINE RD BRIDGEWATER, NJ 08807.1820
654 15	826 MINE ROAD	2	OROZCO, WILSON & KIM MARIE 826 MINE RD BRIDGEWATER, NJ 08807.1820
654 16	1500 MOUNTAIN TOP RD.	2	KHAN, AMBER M & TARIK HALEEM 1500 MOUNTAIN TOP RD BRIDGEWATER, NJ 08807

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS
9990 1	COUNTY ROAD	15C	COUNTY OF SOMERSET PO BOX 3000 SOMERVILLE, NJ 08876.1262
9990 3	TOWNSHIP	1	CABLEVISION % CRAIG MCLEOD 275 CENTENNIAL AVE PISCATAWAY, NJ 08854.3909
9990 4	RECORD ONLY	1	NJ-AMERICAN WTR CO%GIS SPVS-D SHORT 1025 LAUREL OAK RD VOORHEES, NJ 08043.3506
9990 5	RECORD ONLY	1	PUBLIC SERVICE ELECTRIC & GAS 80 PARK PLZ # T6B NEWARK, NJ 07102.4109
9990 6	RECORD ONLY	1	SUNOCO PIPELINE LP/RIGHT OFWAY DEPT 525 FRITZTOWN RD SINKING SPRING, PA 19608.1509

SP 8300 KH
+ TP = 9000

DEED

Prepared by:

Robert J. Foley
Attorney at Law of New Jersey

This Deed is made on April 24, 2012

BETWEEN Northwinds Corp., a New Jersey Corporation,

a corporation of the state of New Jersey,

having its principal office at 1475 Mountain Top Road, Bridgewater, NJ 08807, referred to as the Grantor,

AND Al Fajah Center, a New Jersey Non-Profit Corporation,

whose post office address is P.O. Box 252, Pluckemin, NJ 07976, referred to as the Grantee.

The words "Grantor" and "Grantee" shall mean all Grantors and all Grantees listed above.

Transfer of Ownership. The Grantor grants and conveys (transfers ownership of) the property described below to the Grantee. This transfer is made for the sum of One Million Eight Hundred Eighty-Five Thousand AND no/100 (\$1,885,000.00) dollars. The Grantor acknowledges receipt of this money.

Tax Map Reference. (N.J.S.A. 46:15-4.1) Municipality of Bridgewater Township
Block No. 653 Lot No. 37 and 36 Account No.

No property tax identification number is available on the date of this deed. (Check box if applicable)

Property. The property consists of the land and all the buildings and structures on the land in the Township of Bridgewater, County of Somerset and the State of New Jersey. The legal description is:

The property is commonly known as 1475 Mountain Top Road.

The property is sold subject to easements, grants, rights of way and restrictions of record, municipal zoning ordinances and such state of facts as an accurate survey may reveal.

Being the same property conveyed to the Grantor herein by deed from Redwood Corporation, a corporation of the State of New Jersey, dated September 24, 1999, and recorded on September 28, 1999 in the Somerset County Clerk's Office in Deed Book 2259, at Page 311.

Notwithstanding the attached description, it is the intention of the Grantor to convey to the Grantee only those premises acquired by virtue of a certain Deed recorded in Somerset County Deed Book 2259, at Page 311.



BRETT A. BADI COUNTY CLERK
SOMERSET COUNTY, NJ
2012 MAY 03 09:23 AM
BK 6516 PG 2578-2278
CONS: \$1,885,000.00 EXEMPT: 05
NJ YFEA FEE: \$20,283.00
INSTRUMENT H 2012024066

See Schedule A attached hereto.

SCHEDULE A – LEGAL DESCRIPTION

ALL that certain parcel or tract of land being in the Township of Bridgewater, County of Somerset and State of New Jersey being described as follows:

BEGINNING at a point in Mountain Top Road, being the same beginning point as cited in Deed Book 870, Page 8; thence

(1) along lands as shown on "Running Brook at Bridgewater Final Map 1" filed map No. 2596, South 88 degrees 29 seconds East, passing over a concrete monument found at 32.20 feet, a total survey distance of 469.49 feet to an axle found; thence

(2) along lands as shown on "Running Brook at Bridgewater, Final Map 2" filed Map No. 2842, North 67 degrees East, a distance of 155.77 feet; thence

(3) along lands as shown on "Map of Subdivision, Lot 41, Block 5701: filed Map No. 1767, South 26 degrees 18 minutes East, a survey distance of 280.08 feet to a concrete monument found; thence

(4) still with same South 48 degrees 19 minutes 20 seconds West, passing over an iron pipe found at 79.96 feet and an iron pipe found at 264.14 feet a total distance of 395.73 feet to a concrete monument found; thence

(5) still with same, South 70 degrees 45 minutes 10 seconds West, passing over a concrete monument found at 441.97 feet, a total survey distance of 467.64 feet to a point in Mountain Top Road; thence

The next five courses being in Mountain Top Road, being a calculated deed centerline:

(6) North 06 degrees 35 minutes 53 seconds West, a distance of 182.83 feet to a point of curvature; thence

(7) along a curve to the right with a radius of 375.47 and an arc length of 29.00 feet, with a chord bearing of North 07 degrees 01 minutes 48 seconds East and a chord of 28.99 feet; thence

(8) North 09 degrees, 14 minutes 33 seconds East, a distance of 32.68 minutes; thence

(9) along a curve to the left with a radius of 942.92 feet and an arc length of 128.83 feet, with a chord bearing of North 04 degrees 29 minutes 42 seconds East and a chord of 128.73 feet; thence

(10) North 00 degrees 34 minutes 33 seconds East, a distance of 250.20 feet to the point and place of beginning.

The above description has been drafted in accordance with a survey prepared by GARY V. MARMO, P.L.S. dated 2/7/2012.

Note for Informational Purposes Only:

Being Block 653 and Lots 36 & 37 on the Tax Maps of the Township of Bridgewater.

Being more commonly known as: 1475 MOUNTAIN TOP ROAD, BRIDGEWATER, NJ 08807

STATE OF NEW JERSEY
AFFIDAVIT OF CONSIDERATION FOR USE BY BUYER

(Chapter 49, P.L. 1968, as amended through Chapter 33, P.L. 2006) (N.J.S.A. 46:15-6 et seq.)

BEFORE COMPLETING THIS AFFIDAVIT, PLEASE READ THE INSTRUCTIONS ON THE REVERSE SIDE OF THIS FORM

STATE OF NEW JERSEY

COUNTY SOMERSET } SS. County Municipal Code
1806
MUNICIPALITY OF PROPERTY LOCATION BRIDGEWATER

FOR RECORDER'S USE ONLY	
Consideration	\$ <u>1,885,000.00</u>
RTF paid by buyer	\$ <u>EXEMPT</u>
Date <u>5/13/2012</u>	By <u>[Signature]</u>

(1) PARTY OR LEGAL REPRESENTATIVE (See Instructions #3 and #4 on reverse side) XXX-XX-X190
Last 3 Digits in Grantee's Social Security Number
Deponent, AL-FALAH CENTER, A NJ NONPROFIT, being duly sworn according to law upon his/her oath,
(Name)
deposes and says that he/she is the GRANTEE in a deed dated Apr. 27, 2012 transferring
(Grantor, Legal Representative, Corporate Officer, Officer of Title Company, Lending Institution, etc.)
real property identified as Block number 658 Lot number 37 + 36 located at
1475 MOUNTAIN TOP ROAD, BRIDGEWATER and annexed thereto.
(Street Address, Town)

(2) CONSIDERATION \$ 1,885,000.00 (See Instructions #1, #5, and #11 on reverse side)

Entire consideration is in excess of \$1,000,000:

PROPERTY CLASSIFICATION CHECKED BELOW SHOULD BE TAKEN FROM THE OFFICIAL TAX LIST (A PUBLIC RECORD) OF THE MUNICIPALITY WHERE THE REAL PROPERTY IS LOCATED IN THE YEAR THAT THE TRANSFER IS MADE.

(A) When Grantee is required to remit the 1% fee, complete below:

- Class 2 - Residential
- Class 3A - Farm property (Regular) and any other real property transferred to same grantee in conjunction with transfer of Class 3A property
- Class 4A - Commercial Properties (if checked, calculation on (C) required below)
- Class 4C - Residential Cooperative Unit (4 Families or less)

(B) When Grantee is not required to remit the 1% fee, complete below:

- Property class. Circle applicable class(es): 1 4B 4C 15
Property classes: 1-Vacant Land, 4B-Industrial properties, 4C-Apartments (other than cooperative unit), 15-Public Property
- Exempt Organization pursuant to federal Internal Revenue Code of 1985
- Incidental to corporate merger or acquisition and equalized assessed valuation less than 20% of total value of all assets exchanged in merger or acquisition (If checked, calculation in (C) below required and MUST ATTACH COMPLETED RTF-4)

(C) REQUIRED CALCULATION OF EQUALIZED ASSESSED VALUATION FOR ALL CLASS 4A COMMERCIAL PROPERTY TRANSACTIONS: (See Instructions #6 and #7 on reverse side)

Total Assessed Valuation + Director's Ratio = Equalized Valuation

\$ _____ + _____ % = \$ _____

If Director's Ratio is less than 100%, the equalized valuation will be an amount greater than the assessed valuation. If Director's Ratio is equal to or in excess of 100%, the assessed valuation will be equal to the equalized value.

(3) TOTAL EXEMPTION FROM FEE (See instruction #8 on reverse side)

Deponent states that this deed transaction is fully exempt from the Realty Transfer Fee imposed by C. 49, P.L. 1968, as amended through C. 66, P.L. 2004, for the following reason(s). Mere reference to exemption symbol is insufficient. Explain in detail.

(4) Deponent makes Affidavit of Consideration for Use by Buyer to induce county clerk or register of deeds to record the deed and accept the fee submitted herewith pursuant to the provisions of Chapter 49, P.L. 1968, as amended through Chapter 33, P.L. 2006.

Subscribed and sworn to before me this 27 day of Apr., 2012
[Signature]
an attorney at law of New Jersey

[Signature] Treasurer
Signature of Deponent
AL FALAH CENTER, A NJ NON
Grantee Name
36 BATTALION DRIVE
Deponent Address
1475 MOUNTAIN TOP ROAD
Grantee Address at Time of Sale
BRIDGEWATER, NJ 07921

QUALITY TITLE & ABSTRACT	
Name/Company of Settlement Officer	
FOR OFFICIAL USE ONLY	
Instrument Number	County <u>Somerset</u>
Deed Number	Book _____ Page _____
Deed Dated <u>4/27/2012</u>	Date Recorded <u>5/13/2012</u>

County Recording Officers shall forward one copy of each Affidavit of Consideration for Use by Buyer recorded with deeds to:

STATE OF NEW JERSEY-DIVISION OF TAXATION
PO BOX 251
TRENTON, NJ 08695-0251
ATTENTION: REALTY TRANSFER FEE UNIT



State of New Jersey
SELLER'S RESIDENCY CERTIFICATION/EXEMPTION
(C.55, P.L. 2004)

(Please Print or Type)

SELLER(S) INFORMATION (See Instructions, Page 2)

Name(s) Northwinds Corp.
Current Resident Address:
Street: 180 Copperthwaite Road
City, Town, Post Office Bedminster, NJ 07921 State _____ Zip Code _____

PROPERTY INFORMATION (Brief Property Description)

Block(s) 653 Lot(s) 37 and 36 Qualifier _____
Street Address: 1475 Mountain Top Road
City, Town, Post Office Bridgewater, NJ 08807 State _____ Zip Code _____
Seller's Percentage of Ownership 100% Consideration \$1,885,000. Closing Date 9/27/12

SELLER ASSURANCES (Check the Appropriate Box) (Boxes 2 through 8 apply to Residents and Non-residents)

1. I am a resident taxpayer (individual, estate, or trust) of the State of New Jersey pursuant to N.J.S.A. 54A:1-1 et seq. and will file a resident gross income tax return and pay any applicable taxes on any gain or income from the disposition of this property.
2. The real property being sold or transferred is used exclusively as my principal residence within the meaning of section 121 of the federal Internal Revenue Code of 1986, 26 U.S.C. s. 121.
3. I am a mortgagor conveying the mortgaged property to a mortgagee in foreclosure or in a transfer in lieu of foreclosure with no additional consideration.
4. Seller, transferor or transferee is an agency or authority of the United States of America, an agency or authority of the State of New Jersey, the Federal National Mortgage Association, the Federal Home Loan Mortgage Corporation, the Government National Mortgage Association, or a private mortgage insurance company.
5. Seller is not an individual, estate or trust and as such not required to make an estimated payment pursuant to N.J.S.A.54A:1-1 et seq.
6. The total consideration for the property is \$1,000 or less and as such, the seller is not required to make an estimated payment pursuant to N.J.S.A. 54A:5-1-1 et seq.
7. The gain from the sale will not be recognized for Federal income tax purposes under I.R.C. Section 721, 1031, 1033 or is a cemetery plot. (CIRCLE THE APPLICABLE SECTION). If such section does not ultimately apply to this transaction, the seller acknowledges the obligation to file a New Jersey income tax return for the year of the sale (see instructions).
 No non-like kind property received.
8. Transfer by an executor or administrator of a decedent to a devisee or heir to effect distribution of the decedent's estate in accordance with the provisions of the decedent's will or the intestate laws of this state.

SELLER(S) DECLARATION

The undersigned understands that this declaration and its contents may be disclosed or provided to the New Jersey Division of Taxation and that any false statement contained herein could be punished by fine, imprisonment, or both. I furthermore declare that I have examined this declaration and, to the best of my knowledge and belief, it is true, correct and complete. By checking this box I certify that the Power of Attorney to represent the seller(s) has been previously recorded or is being recorded simultaneously with the deed to which this form is attached.

4/29/12
Date

By Irene B. Hughes, Pres.
Irene B. Hughes, Signature President
(Seller) Please Indicate If Power of Attorney or Attorney In Fact

Date

Signature
(Seller) Please Indicate If Power of Attorney or Attorney In Fact

UNRECORDED

Promises by Grantor. The Grantor promises that the Grantor has done no act to encumber the property. This promise is called a "covenant as to grantor's acts" (N.J.S.A. 46:4-6). This promise means that the Grantor has not allowed anyone else to obtain any legal rights which affect the property (such as by making a mortgage or allowing a judgment to be entered against the Grantor).

Signatures. This Deed is signed and attested to by the Grantor's proper corporate officers as of the date at the top of the first page. Its corporate seal is affixed.

Attested by: *Kathleen A. Hughes-Fischetti*
Secretary Kathleen A. Hughes-Fischetti

Northwinds Corp., a New Jersey Corporation,
By: *Irene B. Hughes*
President Irene B. Hughes

STATE OF NEW JERSEY, COUNTY OF SOMERSET SS.:

I CERTIFY that on April 24, 2012
Kathleen A. Hughes-Fischetti personally came before me and acknowledged under oath, to my satisfaction, that:
(a) this person is the Secretary of Northwinds Corp., a New Jersey Corporation, the corporation named in this Deed;
(b) this person is the attesting witness to the signing of this Deed by the proper corporate officer who is Irene B. Hughes the President of the corporation;
(c) this Deed was signed and delivered by the corporation as its voluntary act duly authorized by a proper resolution of its Board of Directors;
(d) this person knows the proper seal of the corporation which was affixed to this Deed;
(e) this person signed this proof to attest to the truth of these facts; and
(f) the full and actual consideration paid or to be paid for the transfer of title is \$1,885,000.00 (Such consideration is defined in N.J.S.A. 46:15-5.)

Signed and sworn to before me on
April 24, 2012

Robert J. Foley
Robert J. Foley
Attorney at Law of New Jersey

Kathleen A. Hughes-Fischetti
Kathleen A. Hughes-Fischetti

Record and Return to:
Lloyd F. Tubman, Esquire
Archer & Greiner, P.C.
Plaza One
1 State Route 12, Suite 201
Elemington, NJ 08822-1722

Record and Return to:
Quality Title & Abstract Agency
2 Industrial Way West
Eatontown NJ 07724



BRETT A. RADI
SOMERSET COUNTY CLERK
20 GROVE STREET
P.O. BOX 3000
SOMERVILLE, NJ 08876-1262

Recorded: 05/03/2012 09:29:18 AM
Book: OPR 6516 Page: 2570-2575
Instrument No.: 2012024066
DEED 6 PGS \$90.00
CONSIDERATION: \$1,885,000.00
EXEMPTION: OS
NJ REALTY XFER FEE: \$20,283.50

Recorder: BRIONES

DO NOT DISCARD



2012024066

VARIANCE AND DESIGN WAIVER REPORT

FORM # 4

(SUBMIT WITH ALL APPLICATIONS)

APPLICANT NAME Township of Bridgewater DATE _____
 ADDRESS 100 Commons Way, Bridgewater, NJ 08807
 PHONE #: 908-725-6300 FAX #: 908-429-0586
 LOT(S) 36 & 37 BLOCK(S) 653
 CURRENT ZONING DISTRICT R40
 TOTAL SQUARE FEET OF ALL STRUCTURES _____ s.f.

	Ordinance Requirement	Existing	Propose	Variance Y or N
Improved Lot Coverage (all improvements)	_____ %	_____ %	_____ %	_____
Floor Area Ratio (F.A.R.)	_____	_____	_____	_____
Lot Area	_____	_____	_____	_____
Lot Width	_____	_____	_____	_____
Side Yard (one)	_____	_____	_____	_____
Side Yard (total of both)	_____	_____	_____	_____
Front Yard	_____	_____	_____	_____
Rear Yard	_____	_____	_____	_____
Building height and number of stories	_____	_____	_____	_____
Parking	_____	_____	_____	_____
ACCESSORY STRUCTURES				
Side yard	_____	_____	_____	_____
Rear yard	_____	_____	_____	_____
LIST OTHER VARIANCES (type)	_____	_____	_____	_____
_____	_____	_____	_____	_____
LIST ALL DESIGN WAIVERS	_____	_____	_____	_____

See Attached Zoning Chart

RECOMMENDATION:

Attach letters and other supporting documentation that applicant attempted to purchase adjacent land to make lot conforming.

Provide evidence that Variance will not be detrimental to the neighborhood and adjacent residences such as documentation that variance conforms to existing conditions in the area

FORM # 2

**DISCLOSURE STATEMENT FOR CORPORATIONS AND PARTNERSHIPS
APPLYING FOR SITE PLAN AND SUBDIVISION APPROVAL**

CORPORATIONS:

Please indicate the following with respect to the Corporation:

NAME Township of Bridgewater

ADDRESS OF PRINCIPAL OFFICE 100 Commons Way, Bridgewater, NJ 08807

REGISTERED AGENT: NAME _____

ADDRESS _____

STATE OF INCORPORATION _____

If other than New Jersey, is Corporation authorized to do business in New Jersey? _____

If so, when was authorization obtained? _____

List all stockholders controlling 10% or greater of stock: _____

PARTNERSHIPS:

Please indicate the following with respect to the partnership:

TRADE NAME _____

ADDRESS OF PRINCIPAL OFFICE _____

NAMES AND ADDRESSES OF PARTNERS _____

PRELIMINARY MAJOR SUBDIVISION CHECKLIST

Applicant Redwood Block(s) _____ Lot (s) _____

Applicant Bwt.

	NO
	NO
	NO
	✓
	NO

1. *Twenty four (24) sets* of the application form, checklist, fee schedule with calculations and supporting documentation and Preliminary Plans. All documents submitted must be collated into (24) sets.

(or you may choose the option below)

2. **OPTION:** You may choose to submit (3) full sets of documents for completeness review only. When the documents submitted comply with the submission requirements, we will notify you to submit the other (21) sets in order to be deemed complete. This option is made available to applicants in an effort to save resources expended on numerous plans that may need to be revised and resubmitted.

3. If the application involves a request for a *subdivision or site plan* including land development of more than 50 dwelling units or 50,000 square feet of non-residential building space or all major subdivisions or site plans within 500 feet of a municipal border or critical natural resources like primary or secondary streams identified in the County Open Space Plan, that may affect neighboring jurisdictions, *you must submit a copy of the full application packet including plans to Somerville Borough and Raritan Borough and provide proof of submission/ mailing.*

4. Provide proof of submission of full application including plans to the local Fire Department. You may contact the Fire Official to confirm correct Fire Department for your Block and Lot at (908) 725-6300 ext. 263. List name and address you submitted to:

Fire Department: _____

Address: _____

5. All fees must be paid.
 Application fee: _____ Escrow Fee: _____

(Fee Schedule with calculations must be submitted, including a signed W-9)

6. Consent by Owner form, signed and notarized by owner even if the applicant is the owner

	✓
	✓
	✓
	NO
	✓
	✓
	✓
	NO
	NO
	✓
	✓
	✓
	✓
	✓
	✓
	NO

7. Letter of intent stating a) type of structure to be erected
 b) approximate date of start of construction c) a tentative phasing plan for the entire Subdivision indicating all facilities including the estimated number of lots on which final approval will be requested for the first section.

8. Zoning Chart listing required, existing and proposed setbacks, height, floor area ratio, improved lot coverage, and all other information included in the schedule of area and yard requirements.

9. Key map. Scale not to exceed 1" = 800'; Key map is to show zoning within 200 feet of property.

10. Lots: existing and proposed layouts, dimension and metes and bounds.

11. Show individual lots in square feet and acreage *LOT 12*

12. Record owner, name and address of property to be subdivided; if other than an individual, the corporate officers or partner or other statutory agent.

13. Note owner or applicant's last name and block(s) and lot(s) in the title block

14. Applicant's name and address

15. Person who prepared map, official seal and license number *L.S. needed also for sheet (4)*

16. Copy of deeds of property and deed restrictions

17. Size of Map should be in accordance with the Map Filing Laws

18. North arrow and graphic scale

19. Property owners within 200 feet of entire tract with their designated Block and Lot numbers

20. Acreage of total tract to be subdivided to the nearest hundredth of an acre

21. Elevations, contours on site and structures for a 200 foot distance around entire tract to be subdivided. Five foot intervals for slopes averaging 10% or greater. Two foot contour intervals for slopes of lesser percentage

22. Streets (existing and proposed) including right of way widths

23. Utilities: water, gas, electric in existing and proposed streets

	✓
	✓
	✓
	✓
	✓
	NO
	NO
	✓
	✓
	NO
	✓
	✓
	✓
	NO
	✓
	✓
	NO
	✓

24. The signature block must be located directly above the title block in the lower right hand corner of the plans. Plans are considered folded correctly when the title block and signature block are visible without opening the plans. **Full name and title of the chairman, secretary and engineer must be lettered on the plan immediately below the signature line.**

25. Storm drainage plan with calculations and introductory narrative

26. Percolation test, locations, log profile and testing data and design

27. Off site improvements

28. Setbacks; show all existing and proposed setback lines noting distances of structures to property lines as appropriate

29. All deed restrictions shall be shown on the plans

NO LOT 14 "NOTE" CONSERVATION land ALSO ON FINAL NEED AREAS.

30. Open space and detention basin- area, ownership

31. Soils delineation to be shown on the plans

32. Certification from Tax Collector that taxes are paid (attach letter)

33. An Environmental Impact Statement. Waivers are not permitted if any slopes on-site exceed 15% or if property is in a flood plain area

34. Hillside slope calculations exhibit if slopes exceed 10% *NEED STATEMENT*

35. Flood hazard exhibit or a letter from the designing engineer stating that the tract is not in the flood hazard area

36. Statement from the designing engineer stating that the plans are in compliance with Residential Site Improvements Standards (RSIS)

37. Soil Erosion and Sediment Control Plan

38. Evidence of referral to other appropriate governmental agencies (including Somerset County)

39. Documented request for waiver from any ordinance requirement

40. Description of request for a hardship variance, conditional use or special permit

41. Provide letter from the Somerset – Raritan Sewage Authority stating that it has the capacity for and will accept and treat the effluent from the proposed development.

42. Show all existing trees as follows: Deciduous 12" dbh or greater; Non-Deciduous 8" dbh or greater; Dogwoods 4" dbh or greater

No application

	NO
	✓
	✓

43. Provide a letter from the water supplier stating that the water system as proposed is adequate for the development. The letter shall state the present safe daily yield of the system, the expected demand by the development on the system and the remaining safe daily yield of the system.

44. Proposed landscaping and street trees shall be in accordance with the Landscaping ordinance.

45. Survey of property, signed and sealed by a licensed surveyor

[Handwritten Signature]

Signature of person preparing checklist

Date

The applicant may request that one or more of the submission requirements be waived; however, the request must be in writing and state the reason for the waiver request. If the submission waiver is honored during completeness review, the Board still has the right to request the same information during the hearing process in addition to any other information they deem necessary for proper review of the application.

NOTICE REQUIREMENTS:

The following proof of satisfying the notice requirements must be filed with the Land Use Administrator in the Planning Department a minimum of 48-hours prior to the hearing date:

1. Affidavit of Service.
2. Copy of the notice served.
3. Certified list of property owners within 200 feet and others served with manner of service
4. Certified Mail receipts stamped by the USPS
5. Affidavit of publication from the newspaper in which the notice was published.

FINAL CHECKLIST

Redwood

FINAL MAJOR SUBDIVISION CHECKLIST

Applicant _____ Date _____

Block(s) _____ Lot(s) _____ Application #: _____

No Application

App. Bwt.

	NO
	NO
	✓
	✓
	NO
	NO

1. Twenty four (24) sets of the Application form with supporting documentation as required, including this checklist and Plats. This and all other documents you wish to submit MUST be collated into (24) sets.

(or you may select the following option)

2. OPTION: You may choose to submit (3) full sets of documents for completeness review only. When the documents submitted comply with the submission requirements, we will notify you to submit the other (21) sets in order to be deemed complete. This option is made available to applicants in an effort to save resources expended on numerous plans that may need to be revised and resubmitted.

3. All fees must be paid.

Application fee: _____ Escrow Fee: _____

(Fee Schedule with calculations must be submitted, including a signed W-9)

4. If the application involves a request for a *subdivision or site plan* including land development of more than 50 dwelling units or 50,000 square feet of non-residential building space or all major subdivisions or site plans within 500 feet of a municipal border or critical natural resources like primary or secondary streams identified in the County Open Space Plan, that may affect neighboring jurisdictions, *you must submit a copy of the full application packet including plans to Somerville Borough and Raritan Borough and provide proof of submission/ mailing.*

Plats should contain the following data:

1. Identification - Name of Subdivision
2. Tract boundary lines, rights-of-way lines of street names, easements and other rights-of way, land to be reserved or dedicated to public use, all lot lines with accurate dimensions, bearings of deflection angles and radii, arcs and chord bearings, distances, arc lengths, radii of all curves and areas of each lot in square feet and area of all dedicated lands

3. Location of easements or public dedications *No-Used Clarity, Lots 12-14*

4. Block(s) and Lot(s) as approved by the Tax Assessor (attach letter)

NEED LETTER

Road Name (Redwood)

	✓	5. Monuments existing or to be set
	✓	6. Consent of owner certification, signed and notarized even if the applicant is the owner
	✓	7. Certification by letter from Engineer or Land Surveyor that the final plat is consistent with the approved Preliminary plat
	✓	8. Proof that current taxes are paid (Attach letter from the Tax collector)
	✓	9. Additional exhibits required by the Board as a condition of Preliminary approval
	NO	10. Submit deeds of property and deeds of easement <i>PLAT TO STATE, Retained by owner of lot 12, 13, 14,</i>
	✓	11. Please note that after approval of plans, submit mylars, for Signatures. Two mylars and nine prints MUST be returned to the Planning Board office after filing with the County Clerk.
	✓	12. Completed Compliance Report indicating compliance with requirements and conditions of Preliminary approval
	✓	13. The size of Maps should be in accordance with the Map Filing Laws
	NO	14. The signature block must be located directly above the title block in the lower right hand corner of the plans. Plans are considered folded correctly when the title block and signature block are visible without opening the plans. Full name and title of the chairman, secretary and engineer must be lettered on the plan immediately below the signature line. <i>FINAL need names of</i>

Chair & Secretary

X _____

Signature of Person Completing Checklist

_____ Date

The applicant may request that one or more of the submission requirements be waived; however, the request must be in writing and state the reason for the waiver request. If the submission waiver is honored during completeness review, the Board still has the right to request the same information during the hearing process in addition to any other information they deem necessary for proper review of the application.

NOTICE REQUIREMENTS:

The following proof of satisfying the notice requirements must be filed with the Land Use Administrator in the Planning Department a minimum of 48-hours prior to the hearing date:

1. Affidavit of Service.
2. Copy of the notice served.
3. Certified list of property owners within 200 feet and others served with manner of service
4. Certified Mail receipts stamped by the USPS
5. Affidavit of publication from the newspaper in which the notice was published.



THE TOWNSHIP OF BRIDGEWATER

100 COMMONS WAY / BRIDGEWATER, NJ 08807
PH 908-725-6300/FAX 908-725-4163

OFFICE OF THE TAX ASSESSOR

REQUEST FOR 200' RADIUS LIST OF CERTIFIED PROPERTY OWNERS

DATE 10/24/2018 BLOCK 653 LOT 36 & 37

PROPERTY LOCATION Mountain Top Road

APPLICANT Township of Bridgewater

PICK-UP X TELEPHONE Christopher M. Melick
908-359-8291 EMAIL cmelick@vcea.org

MAIL TO Van Cleef Engineer Associates Attention Christopher M. Melick

ADDRESS 32 Brower Lane, Hillsborough, NJ 08844

CITY Hillsborough STATE NJ ZIP 08844

PAID- CHECK # _____ CASH _____

MAIL TO: BRIDGEWATER TAX ASSESSOR'S OFFICE
100 COMMONS WAY
BRIDGEWATER, NJ 08807

PLEASE NOTE:

THE CHARGE FOR THIS LIST IS \$10.00 FOR FORTY (40) OR LESS PROPERTIES. EACH PROPERTY IN EXCESS OF FORTY (40) HAS AN ADDITIONAL .25-CENT CHARGE. IN ADDITION, AS PER SECTION § 94 OF THE CODE OF BRIDGEWATER TOWNSHIP, THE TOWNSHIP MAY CHARGE AN ADDITIONAL \$35.00 FEE PER HOUR FOR THE COST OF PREPARING A LIST OF CERTIFIED PROPERTY OWNERS

Our policy is that a certified list is not started until the check is received by our office. Once received, we will make every effort to get this list to you as soon as possible

FORM # 1

**BRIDGEWATER TOWNSHIP
CONSENT BY OWNER**

I, Township Of Bridgewater, am the owner of the property known as Block (s) 653, Lot (s) 36 & 37 as shown on the Tax Map of Bridgewater Township. I am aware of the application that is to be filed with the Planning Board or Zoning Board of Adjustment in Bridgewater Township and I consent to said application. I permit the Board, its staff or other designated officials to enter onto the property which is the subject of this application and review existing and proposed site and development elements.

I further understand that there are fees that must be paid in accordance with said application. In the event that the applicant does not pay all of the appropriate fees including application and escrow fees as required for this application, I consent to have any unpaid balance placed as an added assessment against my property to be collected by the Tax Collector's office in due course.

(This form must be signed and notarized, even if the applicant is the owner)

Signature of Owner

Date: _____

Sworn to and subscribed before me
this _____ day of _____ 200_____

Notary Public

BRIDGEWATER FEE SCHEDULE - SUBDIVISION

	Application Charge	Application Fee Subtotal	Escrow Fee	Escrow Fee Subtotal
CONCEPT SKETCH				
<input checked="" type="checkbox"/> A Five Lots or More	\$100.00	\$	\$3,000.00	\$
<input type="checkbox"/> B Less than Five Lots	\$100.00	\$	\$1,500.00	\$
MINOR SUBDIVISION				
<input type="checkbox"/> A Minor Subdivision	\$125.00	\$	\$3,000.00	\$
<input type="checkbox"/> B Lot Line Adjustment (No Variances)	\$50.00	\$	\$1,000.00	\$
<input checked="" type="checkbox"/> PRELIMINARY MAJOR SUBDIVISION	\$110/ Lot	\$	\$500 + \$500/ Lot	\$
<input checked="" type="checkbox"/> FINAL MAJOR SUBDIVISION	\$55/ Lot	\$	\$500 + \$500/ Lot	\$
VARIANCES - EACH variance shall be computed.				
<input type="checkbox"/> A Appeals (NJSA 40:55D-70a)	\$100.00	\$	\$1,500.00	\$
<input type="checkbox"/> B Interpretation (NJSA 40:55D-70b)	\$100.00	\$	\$1,500.00	\$
<input type="checkbox"/> C Hardship/Bulk (NJSA 40:55D-70c)	\$250.00	\$	\$3,000.00	\$
<input type="checkbox"/> D Use (NJSA 40:55D-70d)	\$250.00	\$	\$3,000.00	\$
<input type="checkbox"/> E Permit (40:55D-34&35)	\$100.00	\$	\$1,000.00	\$
AMENDED SUBDIVISION PLAN OR EXTENSION OF APPROVAL				
	50% of initial Fee	\$	50% of initial Escrow	\$
Total for Application Fee		\$ 0.00	Total Escrow	\$ 0.00

Payment is to be made in TWO checks. One check is to be identified as the APPLICATION FEE and the second check is to be identified as ESCROW ACCOUNT (must attach completed W-9 form)

SAMPLE FORM OF NOTICE OF PUBLICATION TO BE PUBLISHED IN THE OFFICIAL NEWSPAPER OF THE TOWNSHIP (Courier News) AT LEAST 10-DAYS PRIOR TO THE HEARING DATE

**BRIDGEWATER TOWNSHIP
NOTICE OF HEARING**

TAKE NOTICE, that on _____ (date of public hearing) at _____ (time) P.M. a public hearing will be held before the Bridgewater Township _____ (Planning or Zoning) Board at the Bridgewater Municipal Courtroom, 100 Commons Way, Bridgewater, New Jersey to consider the application of _____ Township of Bridgewater _____ for the following:

1. (List type of variance, what is required in the zone and what is proposed for each variance requested including the lot-line adjustment or minor subdivision)

Including any other variances the Board may deem necessary.

So as to permit (example: construction of ; installation of ; creation of one new developable lot) on the premises located at Mountain Top Road and designated as Block 653 Lot 36 & 37 on the Bridgewater Township Tax Map.

The application and supporting documents are on file with the Secretary of the Bridgewater Township Board and may be inspected at the Bridgewater Township Municipal Complex at 100 Commons Way in the Planning Department, during regular business hours Monday through Friday, 9:00 am to 5:00 pm.

Any interested party may appear at said hearing and participate therein in accordance with the rules of the Board.

_____ Township of Bridgewater _____

AFFIDAVIT OF SERVICE

STATE OF NEW JERSEY

COUNTY OF Somerset

I _____ of full age, being dully sworn according to law, upon oath deposes and says that on _____, at least 10 days prior to the hearing date, I did deposit in the United States mail via certified mail, with postage prepaid thereon a copy of the annexed Notice of Hearing. Copies of the certified receipts are also attached hereto. Said notice was sent to all shown on the list annexed hereto which list is a list of owners of property within 200 feet of the effected property which were served as well as any public utilities which have registered with the Township of Bridgewater. The signature of any owner served personally appears alongside their name. Also attached hereto is a certified list of property owners and public utilities prepared by the Tax Assessor of the Township of Bridgewater.

In addition to those shown on the list, notices were served upon (Check if applicable)

- () 1. Clerk of adjoining municipalities
 () 2. Somerset County Planning Board
 () 3. The Department of Transportation

Sworn to and subscribed before me on _____

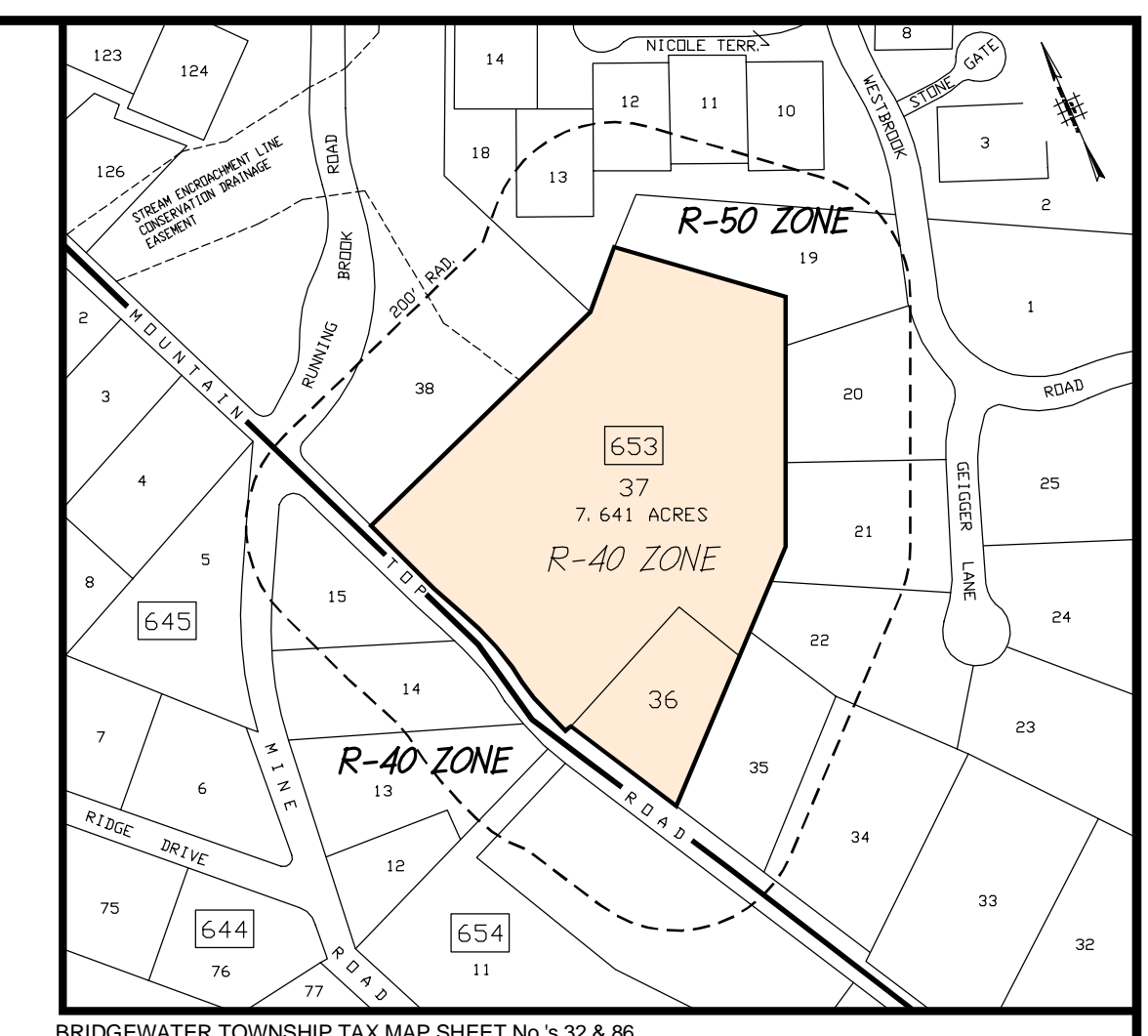
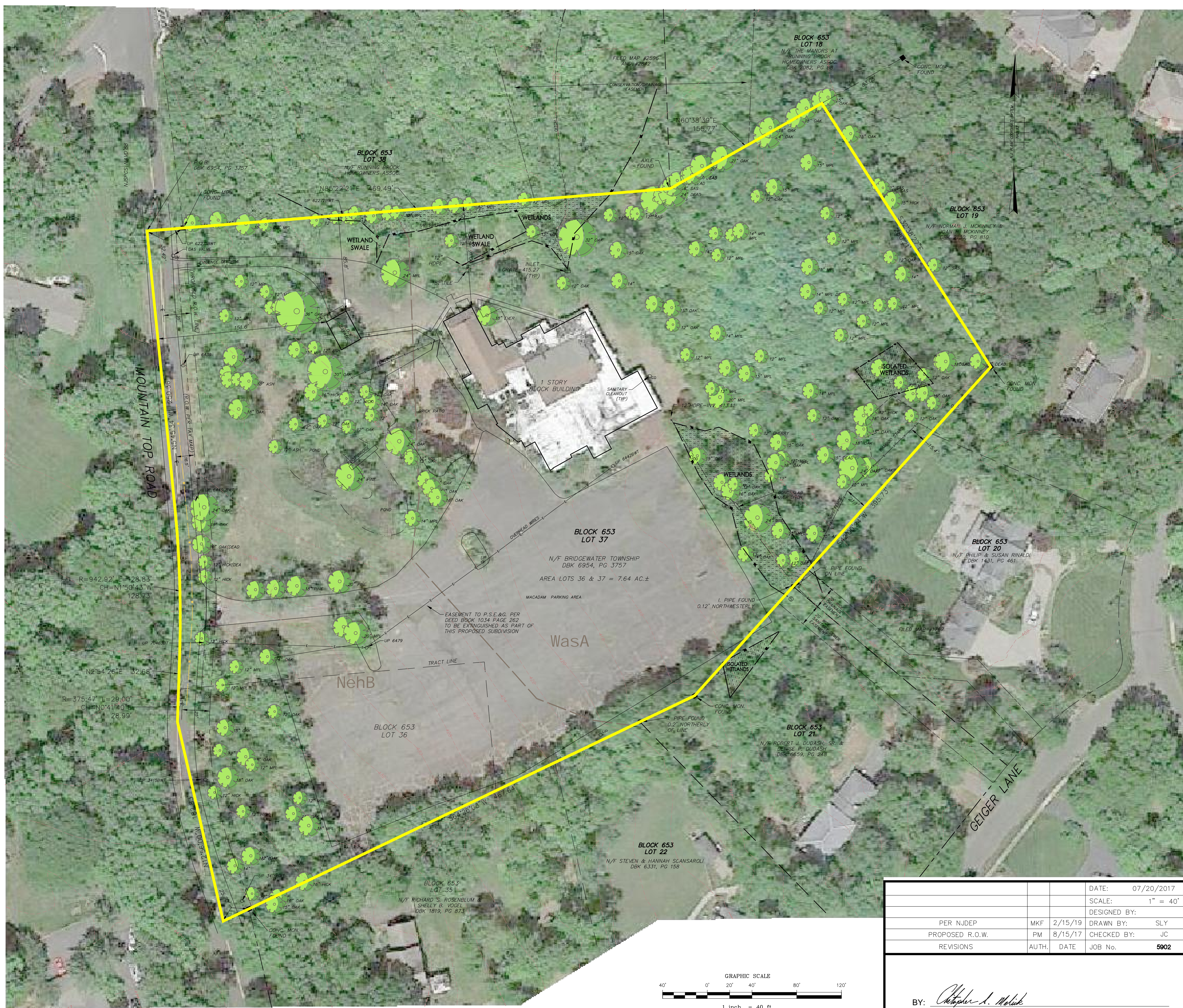
(mm/dd/yyyy)

 Notary Public

NOTICE REQUIREMENTS:

If required, the following proof of satisfying the notice requirements must be filed with the Land Use Administrator in the Planning Department a minimum of 48-hours prior to the hearing date:

1. Affidavit of Service.
2. Copy of the notice served.
3. Certified list of property owners within 200 feet and others served with manner of service
4. Certified Mail receipts stamped by the USPS only.
5. Affidavit of publication from the newspaper in which the notice was published.



BRIDGEWATER TOWNSHIP TAX MAP SHEET No. 32 & 86
KEY MAP
 SCALE: 1" = 300'

- NOTES:
- THIS SURVEY WAS MADE BASED ON THE RECORD DESCRIPTIONS CONTAINED IN DEED DATED APRIL 21, 2017 FROM AL FALAH CENTER TO BRIDGEWATER TOWNSHIP, RECORDED AT THE SOMERSET COUNTY CLERK'S OFFICE IN BOOK 6954 OF DEEDS ON PAGE 3757, AND IN DEED DATED APRIL 24, 2012 FROM NORTHINDS CORP. TO AL FALAH CENTER, RECORDED AT THE SOMERSET COUNTY CLERK'S OFFICE IN BOOK 6516 OF DEEDS ON PAGE 2570.
 - UNDERGROUND FACILITIES SERVING OR RELATED TO THIS PROPERTY, IF ANY, WERE NOT LOCATED AND DO NOT SHOW ON THIS MAP.
 - PRINTS OF THIS DRAWING ARE NOT VALID UNLESS MADE FROM THE SURVEYOR'S ORIGINAL TRACING AND UNLESS THE EMBOSSED SEAL OF THE SURVEYOR HAS BEEN AFFIXED.
 - M.S.C. INTERIOR FEATURES SUCH AS SIDEWALKS, PATIO'S, POND, ETC. SHOWN HEREON PER REFERENCE 7a.
 - TITLE REFERENCE: STEWART TITLE GUARANTY COMPANY, COMMITMENT NO. ST67154 DATED: MARCH 30, 2017 SUBJECT TO: EASEMENT AS CONTAINED IN DEED BOOK 1034 PAGE 262. AGREEMENTS IN BOOK 835 PAGE 105, BOOK 870 PAGE 8. BILL OF SALE IN BOOK 1 PAGE 151.
 - A WRITTEN WAIVER AND DECLARATION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2003, C.14 (N.J.S.A. 45:8-36.3) AND N.J.A.C. 13:40-5.1(D).
 - REFERENCE DRAWINGS:
 - TOPOGRAPHIC SURVEY PREPARED FOR LOTS 36 & 37 IN BLOCK 653 DATED 12-12-07, PREPARED BY SALADINI ASSOCIATES, P.C.
 - TOPOGRAPHIC SURVEY NORTHINDS CORP., LOTS 36 & 37 IN BLOCK 653, DATED 7-15-08, PREPARED BY DAVID A. STIRES ASSOCIATES, LLC.
 - MAP OF SUBDIVISION FOR LOT 41, BLOCK 5701, DATED AUGUST 1978, PREPARED BY RICHARD H. SCHINDELAR & ASSOCIATES, FILED MAP NO. 1767.
 - "RUNNING BROOK AT BRIDGEWATER, FINAL MAP 1," DATED 5-6-87, PREPARED BY MENLO ENGINEERING ASSOCIATES, INC., FILED MAP NO. 2596.
 - "RUNNING BROOK AT BRIDGEWATER, FINAL MAP 2," DATED 5-6-87, PREPARED BY MENLO ENGINEERING ASSOCIATES, INC., FILED MAP NO. 2842.
 - BRIDGEWATER TOWNSHIP SOMERSET COUNTY TAX MAP SHEET 86.
 - THIS SURVEY IS REFERENCED TO NEW JERSEY STATE PLANE COORDINATE SYSTEM NAD'83.
 - WETLANDS, WETLANDS SWALES AND ISOLATED WETLANDS ARE DEPICTED AS APPROVED IN NJDEP FILE # 1806-08-0004.1 FW 080001. SHOWN ON A PLAN ENTITLED "WETLANDS LOCATION PLAN, LOTS 36 & 37 BLOCK 653, TOWNSHIP OF BRIDGEWATER, SOMERSET COUNTY, NEW JERSEY," AS PREPARED BY DAVID A. STIRES ASSOCIATES, LLC, DATED JANUARY 23, 2008, LAST REVISED DECEMBER 12, 2018.

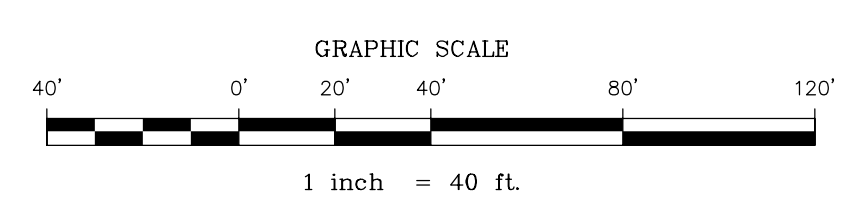
Map Unit Symbol	Map Unit Name	Percent Area
NehB	Neshaminy silt loam, 2 to 6 percent slopes	36.1%
WasA	Watching silt loam, 0 to 2 percent slopes	63.9%

DATE:	07/20/2017
SCALE:	1" = 40'
DESIGNED BY:	
PER NJDEP MKF 2/15/19	DRAWN BY: SLY
PROPOSED R.O.W. PM 8/15/17	CHECKED BY: JC
REVISIONS AUTH. DATE	JOB No. 5902

Van Cleaf
 ENGINEERING ASSOCIATES, LLC

32 BROOKER LANE, PO BOX 5877, HILLSBOROUGH, NJ 08844
 EMAIL: CONTACT@VANCLEEFENGINEERING.COM
 WEB: WWW.VANCLEEFENGINEERING.COM
 PHONE: (908) 359-6291 FAX: (908) 359-1590

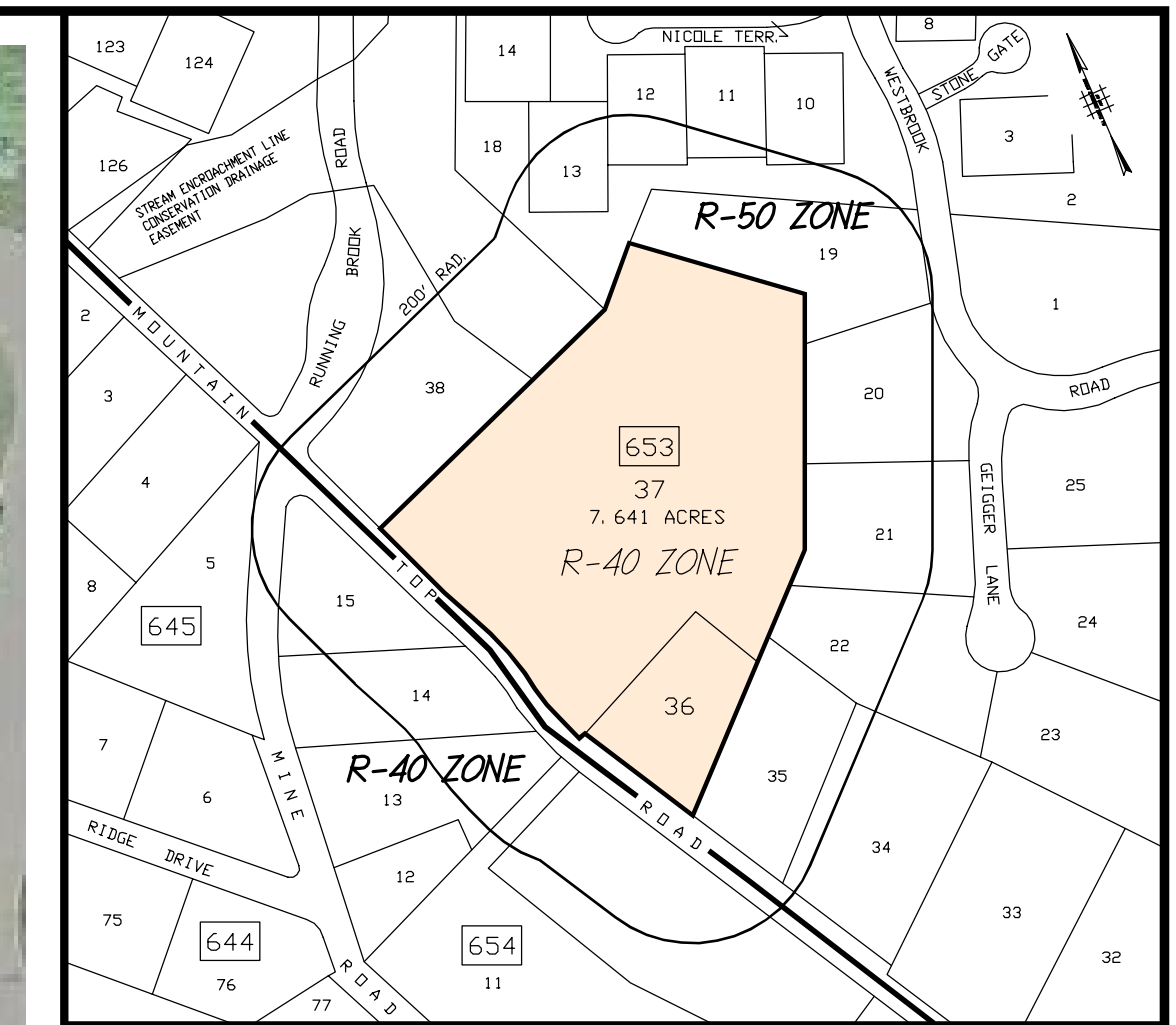
Consulting Civil Engineering
 Bridge Design
 Highway Design
 Construction Inspection
 Geotechnical Engineering
 Water / Wastewater
 Municipal Engineering
 Land Surveying
 Professional Planning
 Landscape Architecture
 NJ LLC CERT. No. 24GA28132300



BY: *Christopher A. Melick*
Christopher A. Melick New Jersey Professional Land Surveyor No. 24GS03586000

EXISTING CONDITION EXHIBIT
 FOR
BLOCK 653, LOTS 36 & 37
 BRIDGEWATER TOWNSHIP
 SOMERSET COUNTY, NEW JERSEY

F:\jobfiles\5902 Redwood Inn\ENGIN\FINAL PLANS\EXHIBITS\5902-EXHIBIT EXISTING (6-8-20).dwg



BRIDGEWATER TOWNSHIP TAX MAP SHEET No. 32 & 86
 KEY MAP
 SCALE: 1" = 300'

CONSERVATION EASEMENT SUMMARY:

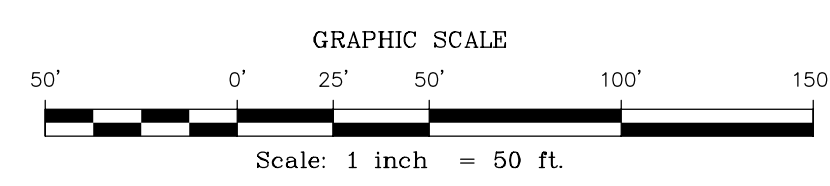
EASEMENT #	LOT #	AREA	
		S.F.	ACRES
1	10	3,576	0.082
2	11	1,116	0.026
3	12	2,737	0.063
4	13	8,371	0.192
5	14	5,800	0.133
6	17	66,251	1.521
TOTAL:		87,852	2.017

AREAS SUMMARY:

MOUNTAIN ROAD DEDICATION	0.407 ACRES
REDWOOD INN COURT DEDICATION	0.497 ACRES
7 (SEVEN) RESIDENTIAL LOTS	5.163 ACRES
OPEN SPACE LOT	1.574 ACRES
LANDS TOTAL:	7.641 ACRES

AREA AND YARD RESTRICTIONS
 R40 CLUSTER OPTION

DESCRIPTION	R-40	CLUSTER / 60-70% (NET)	PROPOSED								
			LOT 10	LOT 11	LOT 12	LOT 13	LOT 14	LOT 15	LOT 16	LOT 17 (OPEN SPACE)	
MINIMUM LOT AREA (CORNER)	45,000	31,500 (70%)	35,629							41,960	
MIN. LOT AREA (INTERIOR)	40,000 (60%)			24,178	24,021	33,452	36,430	29,176			68,575
MINIMUM LOT WIDTH (CORNER)	170 (70%)	119	136.34'							140.03'	
MINIMUM LOT WIDTH (INTERIOR)	150 (70%)	105		124.76'	108.42'	119.16'	141.45'	124.91'			NA
MINIMUM FRONT YARD SETBACK/ (PRINCIPAL STRUCTURE)	50'	35' (70%)	35'	35'	35'	35'	35'	35'	35'	35'	NA
MINIMUM SIDE YARD SETBACK/ (PRINCIPAL STRUCTURE)	20'	14' (70%)	14'	14'	14'	14'	14'	14'	14'	14'	NA
TOTAL SIDE YARD SETBACK/ (PRINCIPAL STRUCTURE)	50'	35' (70%)	35'	35'	35'	35'	35'	35'	35'	35'	NA
MINIMUM REAR YARD SETBACK/ (PRINCIPAL STRUCTURE)	50'	35' (70%)	35'	35'	35'	35'	35'	35'	35'	35'	NA
MAXIMUM % OF IMPROVED LOT COVERAGE (BASED ON FULL SIZE)	18%	18%	18%	18%	18%	18%	18%	18%	18%	18%	NA
MAXIMUM FAR (BASED ON FULL SIZE)	0.16	0.16	0.16	0.16	0.16	0.16	0.16	0.16	0.16	0.16	NA
MAXIMUM BUILDING HEIGHT	35'	35'	35'	35'	35'	35'	35'	35'	35'	35'	NA



DATE: SEPTEMBER 10, 2018	DESIGNED BY: W.C.T.
SCALE: 1" = 50'	DRAWN BY: A.B.
PER JUNE 8, 2020 COMPLETENESS REVIEW	CHECKED BY: W.C.T.
PER NJ DEP APPROVAL	JOB No. 5902
REVISED CONSERVATION EASEMENT	
REVISED SITE LAYOUT	
PER TOWNSHIP	
REVISIONS	

Van Cleaf
 ENGINEERING ASSOCIATES, LLC

32 BROOKER LANE, PO BOX 5877, HILLSBOROUGH, NJ 08844
 EMAIL: CONTACTUS@VANCLEEFENGINEERING.COM
 WEB: WWW.VANCLEEFENGINEERING.COM
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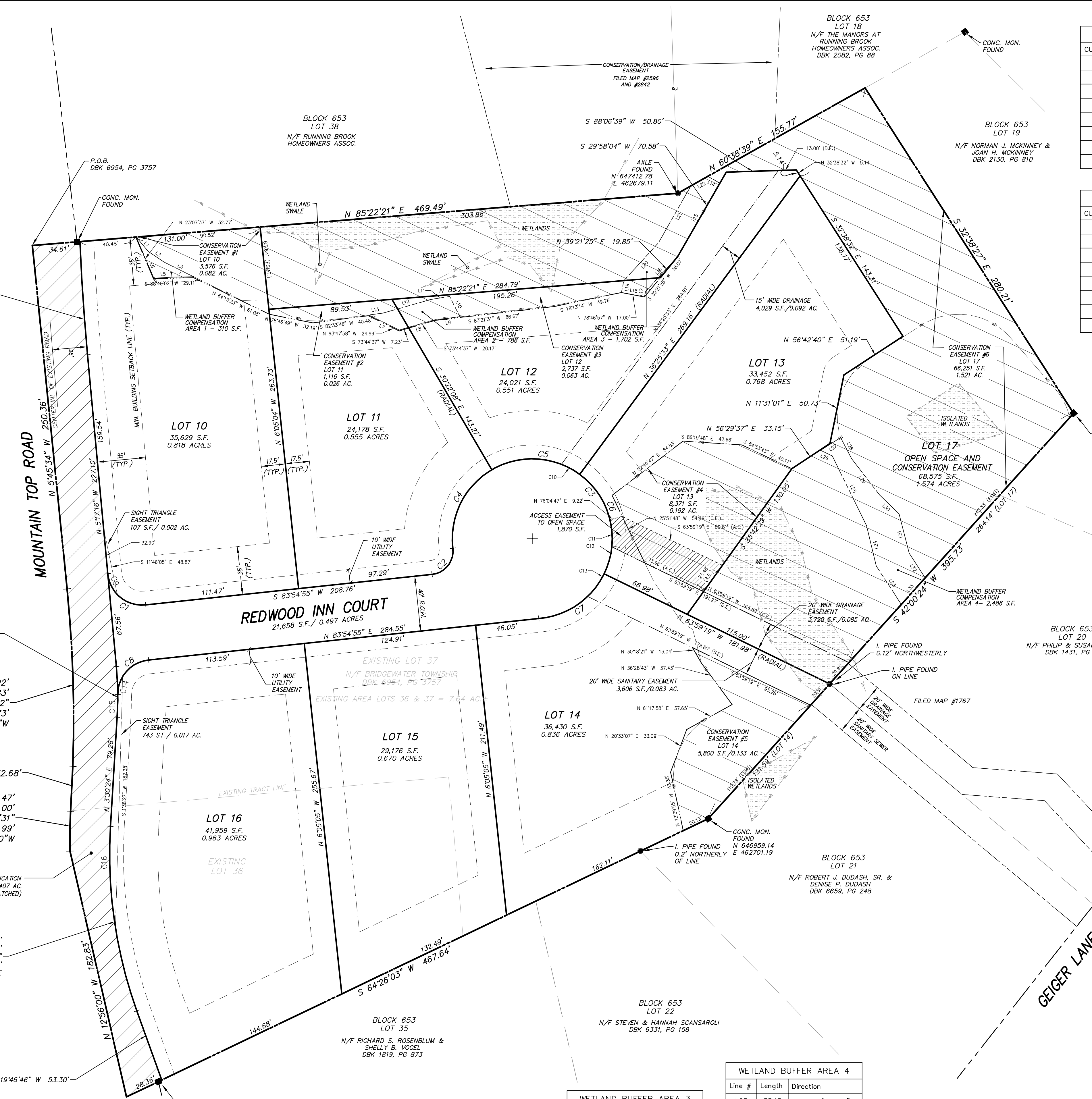
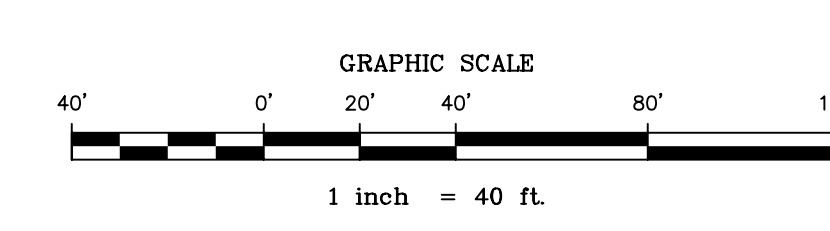
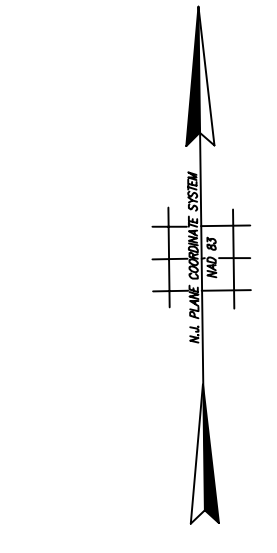
With Offices In: New Jersey, Pennsylvania & Delaware

Consulting Civil Engineering
 Bridge Design
 Highway Design
 Construction Inspection
 Geotechnical Engineering
 Water / Wastewater
 Municipal Engineering
 Land Surveying
 Professional Planning
 Landscape Architecture
 NJ LLC CERT. No. 24GA28132300

BY: *Michael K. Ford*
 Michael K. Ford
 New Jersey Professional Engineer
 No. 34722

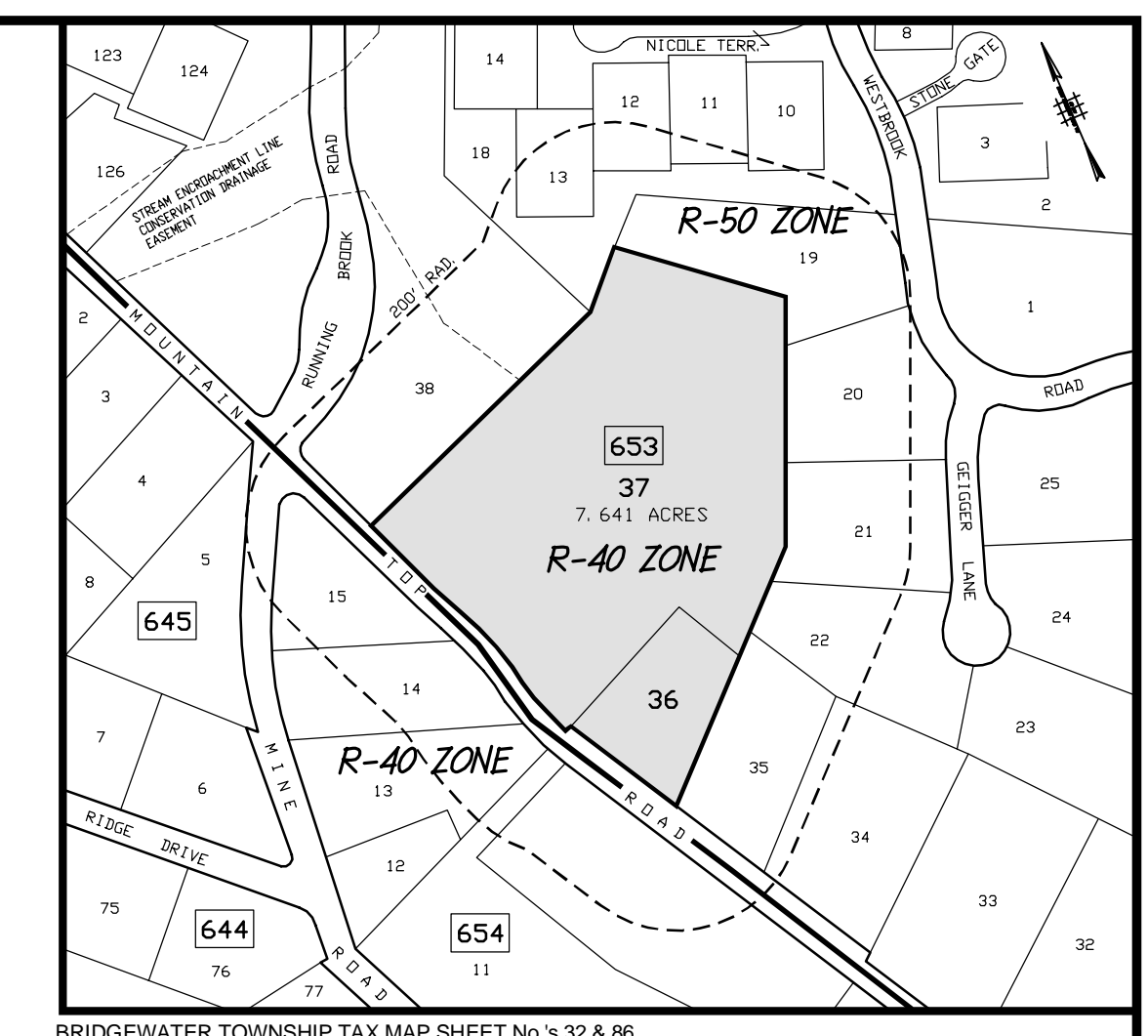
PROPOSED CONDITION EXHIBIT
 FOR
BLOCK 653 LOTS 36 & 37
 SITUATED IN
 BRIDGEWATER TOWNSHIP,
 SOMERSET COUNTY, NEW JERSEY

F:\Jobfile\5902 Redwood Inn\ENG\FINAL PLANS\PLANS TO PRINT\FINAL PLAT & PRELIMINARY (6-8-20).dwg



CURVE NO.	RADIUS	LENGTH	DELTA	CHORD LENGTH	CHORD DIRECTION
C1	25.00'	39.62'	90°47'50"	35.60'	N 50°41'10" W
C2	17.00'	26.93'	90°44'59"	24.20'	N 38°32'25" W
C3	58.00'	275.48'	272°08'34"	80.47'	N 50°45'47" W
C4	58.00'	67.28'	66°27'56"	63.57'	S 26°23'54" W
C5	58.00'	67.61'	66°47'41"	63.85'	N 86°58'17" W
C6	58.00'	80.56'	79°35'00"	74.24'	N 13°46'57" W
C7	58.00'	60.03'	59°17'57"	57.38'	S 55°39'32" W
C8	25.00'	36.80'	84°20'23"	33.57'	S 41°44'42" W

CURVE NO.	RADIUS	LENGTH	DELTA	CHORD LENGTH	CHORD DIRECTION
C9	25.00'	16.93'	38°47'50"	16.61'	S 24°41'10" E
C10	58.00'	15.17'	14°59'19"	15.13'	N 61°04'06" W
C11	58.00'	20.00'	19°45'28"	19.90'	N 4°02'30" W
C12	58.00'	20.42'	20°10'19"	20.31'	N 15°55'24" E
C13	58.00'	20.42'	20°10'22"	20.31'	N 36°05'42" E
C14	25.00'	13.68'	31°21'43"	13.51'	N 15°15'22" E
C15	240.00'	16.47'	3°55'58"	16.47'	N 1°32'25" E
C16	335.00'	73.93'	12°38'39"	73.78'	N 2°48'55" W



BRIDGEWATER TOWNSHIP TAX MAP SHEET No. 32 & 86
KEY MAP
SCALE: 1" = 300'

I HEREBY CERTIFY THAT I AM THE RECORDED TITLE OWNER OF THE LANDS BEING SUBDIVIDED AND THIS MAP IS IN ACCORDANCE WITH THE FREE CONSENT AND EXPRESS DESIRES OF THE OWNERS AND THAT WE ALSO CONSENT TO THE FILING THEREOF.

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND LAND SURVEY DATED JULY 20, 2017 HAS BEEN MADE UNDER MY IMMEDIATE SUPERVISION AND MEETS THE MINIMUM SURVEY DETAIL REQUIREMENTS, WITH OUTBOUND CORNER MARKERS, PROMULGATED BY THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND COMPLIES WITH THE PROVISIONS OF "THE MAP FILING LAW" AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN SET.

BRIDGEWATER TOWNSHIP
100 COMMONS WAY
BRIDGEWATER, NJ 08807
908-725-6300

PAMELA MATHEWS
JERSEY PROFESSIONAL ENGINEER AND LAND SURVEYOR NO. 4181
VAN CLEEF ENGINEERING ASSOCIATES
32 BROWER LANE, HILLSBOROUGH, NJ 08844
908-359-8291

SWORN AND SUBSCRIBED TO ME THIS _____ DAY OF _____

I HEREBY CERTIFY THAT THIS MAP HAS BEEN APPROVED AS A MAJOR SUBDIVISION BY THE BOARD OF THE TOWNSHIP OF BRIDGEWATER THIS MAP SHALL BE FILED IN THE SOMERSET COUNTY CLERK'S OFFICE ON OR BEFORE THE _____ DAY OF _____, 20____, WHICH DATE IS 95 DAYS FROM THE DATE BELOW.

I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF "THE MAP FILING LAW," RESOLUTION OF APPROVAL AND MUNICIPAL ORDINANCES AND REQUIREMENTS APPLICABLE THERETO.

LINDA DOYLE
TOWNSHIP CLERK

WILLIAM H. BURR, IV, P.E.
BOARD AND TOWNSHIP ENGINEER

I CERTIFY THAT ALL NEW STREETS AND EASEMENTS SHOWN HEREON HAVE BEEN APPROVED BY THE PLANNING BOARD AND THAT BONDS HAVE BEEN GIVEN TO THE TOWNSHIP GUARANTEEING THE COMPLETION OF IMPROVEMENTS TO SAME.

THE BRIDGEWATER TOWNSHIP BOARD HAS GRANTED FINAL APPROVAL OF THIS SUBDIVISION PER RESOLUTION ADOPTED _____

LINDA DOYLE
TOWNSHIP CLERK

ALAN FROSS
BOARD CHAIRMAN

THE MONUMENTS SHOWN ON THIS MAP SHALL BE SET WITHIN AN APPROPRIATE TIME LIMIT AS PROVIDED FOR IN THE MUNICIPAL LAND USE LAW, P.L. 1975, c.291 (C.40:550-1e1 seq.) I HEREBY CERTIFY THAT A BOND HAS BEEN GIVEN TO THE MUNICIPALITY GUARANTEEING THE FUTURE SETTING OF THE MONUMENTS SHOWN ON THIS MAP AND SO DESIGNATED.

SCARLETT DOYLE
BOARD SECRETARY

LINDA DOYLE
TOWNSHIP CLERK

THIS PLAT COMPLIES WITH REVISED NEW JERSEY STATUTES 40:27-1 THROUGH 40:27-8.13.

SOMERSET COUNTY PLANNING BOARD

MOUNTAIN ROAD DEDICATION	0.407 ACRES
REDWOOD INN COURT DEDICATION	0.497 ACRES
7 (SEVEN) RESIDENTIAL LOTS	5.163 ACRES
OPEN SPACE LOT	1.574 ACRES
LANDS TOTAL:	7.641 ACRES

- GENERAL NOTES:**
- DENOTES MONUMENT TO BE SET
 - ALL 10" WIDE UNDERGROUND UTILITY EASEMENTS ARE DEDICATED TO THE LOCAL UTILITY COMPANIES.
 - ALL SANITARY SEWER EASEMENTS ARE DEDICATED TO THE TOWNSHIP OF BRIDGEWATER.
 - STATE PLANE COORDINATES ARE AT GROUND LEVEL.
 - STATE PLANE COORDINATES BASED ON GPS OBSERVATIONS - NAD83.
 - SIGHT TRIANGLE EASEMENTS ARE SUBJECT TO GRADING, PLANTING, AND CONSTRUCTION RESTRICTIONS AS PROVIDED FOR IN THE TOWNSHIP DEVELOPMENT REGULATIONS ORDINANCE.
 - THIS PLAN IS BASED ON MAP ENTITLED "PROPERTY SURVEY FOR BLOCK 653, LOTS 36 & 37 BY VAN CLEEF ENGINEERING ASSOCIATES DATED JULY 20, 2017.

Line #	Length	Direction
L23	33.15	N33° 08' 59.72"W
L24	30.24	N13° 39' 19.81"W
L25	56.30	N26° 06' 48.13"W
L26	9.40	N64° 33' 42.53"W
L27	17.19	N57° 21' 28.30"E
L28	17.36	S27° 34' 43.67"E
L29	33.14	S37° 33' 59.87"E
L30	19.70	S46° 07' 16.98"E
L31	29.54	S14° 14' 50.28"E
L32	21.31	S33° 08' 59.72"E
L33	25.86	S42° 00' 24.14"W

EASEMENT #	LOT #	S.F.	ACRES
1	10	3,576	0.082
2	11	1,116	0.026
3	12	2,737	0.063
4	13	8,371	0.192
5	14	5,800	0.133
6	17	66,251	1.521
TOTAL:		87,852	2.017

Line #	Length	Direction
L14	9.73	S60° 23' 32.24"E
L15	61.30	S29° 36' 27.76"W
L16	34.61	S42° 28' 07.29"W
L17	3.98	S11° 13' 03.50"W
L18	17.00	N78° 46' 56.50"W
L19	8.74	N11° 13' 03.50"E
L20	37.45	N42° 28' 07.29"E
L21	47.30	N29° 36' 27.76"E
L22	14.10	N60° 38' 35.28"E

Line #	Length	Direction
L7	24.73	S63° 47' 24.99"E
L8	27.22	N73° 57' 45.15"E
L9	17.94	N83° 12' 45.99"E
L10	16.47	N26° 54' 23.45"E
L11	13.73	S81° 06' 16.17"W
L12	36.31	S73° 58' 33.82"W
L13	10.32	S83° 00' 38.10"W

Line #	Length	Direction
L1	13.70	S40° 05' 42.67"E
L2	13.70	S55° 50' 38.13"E
L3	24.10	S63° 43' 02.01"E
L4	15.10	S89° 20' 36.40"W
L5	13.92	S86° 21' 06.86"W
L6	32.52	N23° 08' 41.68"W

Final Plat
prepared for
Block 653 Lots 36 & 37
situated in
Bridgewater Township, Somerset County, New Jersey
prepared by
Van Cleef Engineering Associates, LLC
Central New Jersey Regional Office
P.O. Box 5877
32 Brower Lane, Hillsborough Township, New Jersey
dated
December 11, 2018 **May 28, 2020**
February 19, 2019 **June 8, 2020**
September 12, 2019
November 15, 2019

PRELIMINARY & FINAL SUBDIVISION

PREPARED FOR

TOWNSHIP OF BRIDGEWATER BLOCK 653 LOTS 36 & 37 BRIDGEWATER TOWNSHIP, SOMERSET COUNTY, NEW JERSEY

PROPERTY OWNERS WITHIN 200'

TAXING DISTRICT	ADJACENT BRIDGEWATER TWP	PROPERTY LISTING	APPLICANT: B- 653 L- 37 (add'l lot 36) : COUNTY 18 SOMERSET
PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS
645	821 MINE ROAD	2	LASPINA, NICHOLAS & RONNIE 821 MINE RD BRIDGEWATER, NJ 08807.1819
653	59 NICOLE TERR.	2	YUKNIS, GERALD M & MARY M 59 NICOLE TER BRIDGEWATER, NJ 08807.1453
653	60 NICOLE TERR.	2	BROOKNER, JEFFREY J & CARRIE 60 NICOLE TER BRIDGEWATER, NJ 08807.1453
653	61 NICOLE TERR.	2	KLUG, MICHELE 61 NICOLE TER BRIDGEWATER, NJ 08807.1453
653	62 NICOLE TERR.	2	COSTAS, JULIAN F JR & VARITA 62 NICOLE TER BRIDGEWATER, NJ 08807.1453
653	COMMON AREA	1	MANORS @ RUNNING BROOK HOMEOWNERS PO BOX 6676 BRIDGEWATER, NJ 08807.0676
653	1095 WEST BROOK ROAD	2	MCKINNEY, NORMAN J. & JOAN H. 1095 WESTBROOK RD BRIDGEWATER, NJ 08807.1419
653	1097 WEST BROOK ROAD	2	RINALDI, PHILIP & SUGAN 1097 WESTBROOK RD BRIDGEWATER, NJ 08807.1419
653	1200 GEIGER LANE	2	DUDASH, ROBERT J SR & DENISE P 1200 GEIGER LANE BRIDGEWATER, NJ 08807
653	1202 GEIGER LANE	2	SCANSAROLI, STEVEN & HANNAH 1202 GEIGER LN BRIDGEWATER, NJ 08807.1404
653	1499 MOUNTAIN TOP ROAD	2	SUTTIPAYAKUL, EMORN O 1499 MOUNTAIN TOP RD BRIDGEWATER, NJ 08807.1836
653	1491 MOUNTAIN TOP ROAD	2	ROSENBLUM, RICHARD & VOGEL, S. 1491 MOUNTAIN TOP RD BRIDGEWATER, NJ 08807.1836
653	PAPEN RD. COMMON AREA	1	RUNNING BROOK HOMEOWNERS ASSOC. 67 GRANDNER CT BRIDGEWATER, NJ 08807.1450
654	1400 MOUNTAIN TOP ROAD	2	GLANZ, AMANDA B 1400 MOUNTAIN TOP RD BRIDGEWATER, NJ 08807.1842
654	808 MINE RD.	2	YONEZUKA-BROWN, RICHARD & ANASTASIA 808 MINE RD BRIDGEWATER, NJ 08807.1820
654	816 MINE ROAD	2	DEBARI, GIOVANNI M & ANGELA 816 MINE RD BRIDGEWATER, NJ 08807.1820
654	826 MINE ROAD	2	OROZCO, WILSON & KIM MARIE 826 MINE RD BRIDGEWATER, NJ 08807.1820
654	1500 MOUNTAIN TOP RD.	2	KHAN, AMBER M & TARIK HALEEM 1500 MOUNTAIN TOP RD BRIDGEWATER, NJ 08807

§ 126-243.1. Construction mitigation measures. [Added 11-18-1991 by Ord. No. 91-33; amended 6-8-2006 by Ord. No. 06-32]

It is hereby mandated that the requirements of Subsections A through O delineated hereinafter shall be listed and placed directly on all major subdivision and site construction plans.

A. The soil erosion and sediment control plan shall remain in full force and effect during the course of construction of the entire project. Failure to comply with the soil erosion and sediment control plans shall result in a work stoppage until the conditions are corrected and the plan reimplemented.

B. Additionally, the following construction mitigation practices shall be required on site:

- (1) Anti-vandalism horns on equipment shall be eliminated.
- (2) Prohibited times and practices. [Amended 8-16-1993 by Ord. No. 93-25]

(a) The excavation, grading, paving, erection, demolition, alteration or repair of any premises, street, building or structure is prohibited at any time on Sundays, national holidays or other than between the hours of 8:00 a.m. and 4:00 p.m. on Saturdays or between the hours of 7:30 a.m. and 6:00 p.m. on all other days, except in the case of urgent necessity in the interest of public health, welfare and safety, and then only in accordance with an approval first obtained from the Township Engineer, related to land clearing and grading, drainage, sewer and water utilities and public improvement work, or from the Township Code Enforcement Official as to other work. Such approval may be granted for a period not to exceed three days or less while the emergency continues. The provisions of this section shall not apply to interior or exterior repairs or to interior alterations, the work for which is actually performed by a homeowner or occupant, personally, between the hours of 8:00 a.m. and 10:00 p.m. upon residential premises, provided that the work shall be done without undue noise or disturbance of the peace and quiet of the neighborhood.

(b) The excavation, grading, paving, erection, demolition, alteration or repair of any premises, street, building or structure is prohibited if the effect of such work or any activity connected with such work is to cause noise, fumes, smoke or dust, which produces a deleterious effect beyond the boundaries and perimeter of the site from which it is emanating. [Amended 12-20-1993 by Ord. No. 93-34]

(3) Anti-litter regulations shall be imposed on site.

(4) The applicant shall establish regulations for the safe and proper transfer and transport of fuel on site.

(5) Truck mats shall be located by the Soil Erosion Control Officer in conjunction with the Township Engineer in such places as to minimize the tracking of dirt and mud onto the traveled roads. The mats shall be maintained and altered as necessary to achieve the required results.

(6) Cleanup and washdown of trucks and equipment shall be required before leaving the construction site. The developer shall provide sufficient laborers and equipment to control tracking at all active exits from the site.

(7) Adequate provisions for safe control of employee parking, including employees of the contractor and subcontractors, shall be required on site during construction.

(8) Violations of any of these construction mitigation measures shall result in a stop-work order, which order shall remain in full force and effect until the condition is remedied to the satisfaction of the Township Engineer.

C. Prior to construction, including site work activity, a preconstruction meeting shall be required to include the Township representatives, the applicant and its engineers and contractors. The preconstruction meeting shall not be held until a copy of the engineer's opinion of probable cost has been submitted to the municipality for computation of engineering inspection fees and for a determination of performance bonds and said fees and bonds have been submitted and approved by the Township Attorney. Nine sets of plans containing all corrections, additions and deletions required by the approving Board and all other prior approval permits shall be provided at least 10 days prior to the preconstruction meeting. Copies of all permits from the federal, state and county agencies shall be provided to the township at the meeting.

D. All nondisturbed areas on site shall be demarcated by snow fence during construction, and the snow fence shall be installed on site prior to any construction activity including site work. A violation of the nondisturbed areas will result in a stop-work order for that area affected by the violation, as determined by the Township Engineer, and said stop-work order shall remain in full force and effect until the violation is corrected and any damage created by the violation is restored to its original state.

E. Should blasting be required on site, the applicant shall, in addition to any state permits that may be required, notify all owners within 200 feet of the property line two weeks prior to the date of said blasting and shall conduct a meeting with the property owners at least one week prior to blasting. The purpose of the meeting shall be to inform the residents and to advise them of such mitigation measures as may be appropriate. The blasting contractor shall use a seismograph and send the test results to the state and to the Township.

F. Prior to the issuance of a building permit for footing and foundation only, the roads shall be in passable condition and the sanitary sewers accepted. Prior to the issuance of the framing permit the roads must be paved, the fire hydrants active and ready for use. Sanitary sewers under paved areas shall not be approved until the base course of asphalt is installed. Prior to the issuance of the first certificate of occupancy, all utilities, including streetlights, shall be activated and road signs shall be installed.

G. Construction of improvements to existing public roads shall be given precedence to on-site construction.

H. Developers shall be held responsible for damage to public roads, private property, vehicles and personal injuries caused by their actions, as determined by the Township Engineer. No permanent certificates of occupancy will be issued to developers with unresolved insurance claims.

I. Sanitary facilities must be provided for construction workers. Facilities must also be provided for disposal of food and drink containers. No garbage is to be disposed of on the site.

J. If a site is to be left unworked for more than 30 days, that site must be graded and seeded.

K. No pipe, curb, control structure, inlet, manhole or low flow channel shall be constructed without cut sheets. The contractor

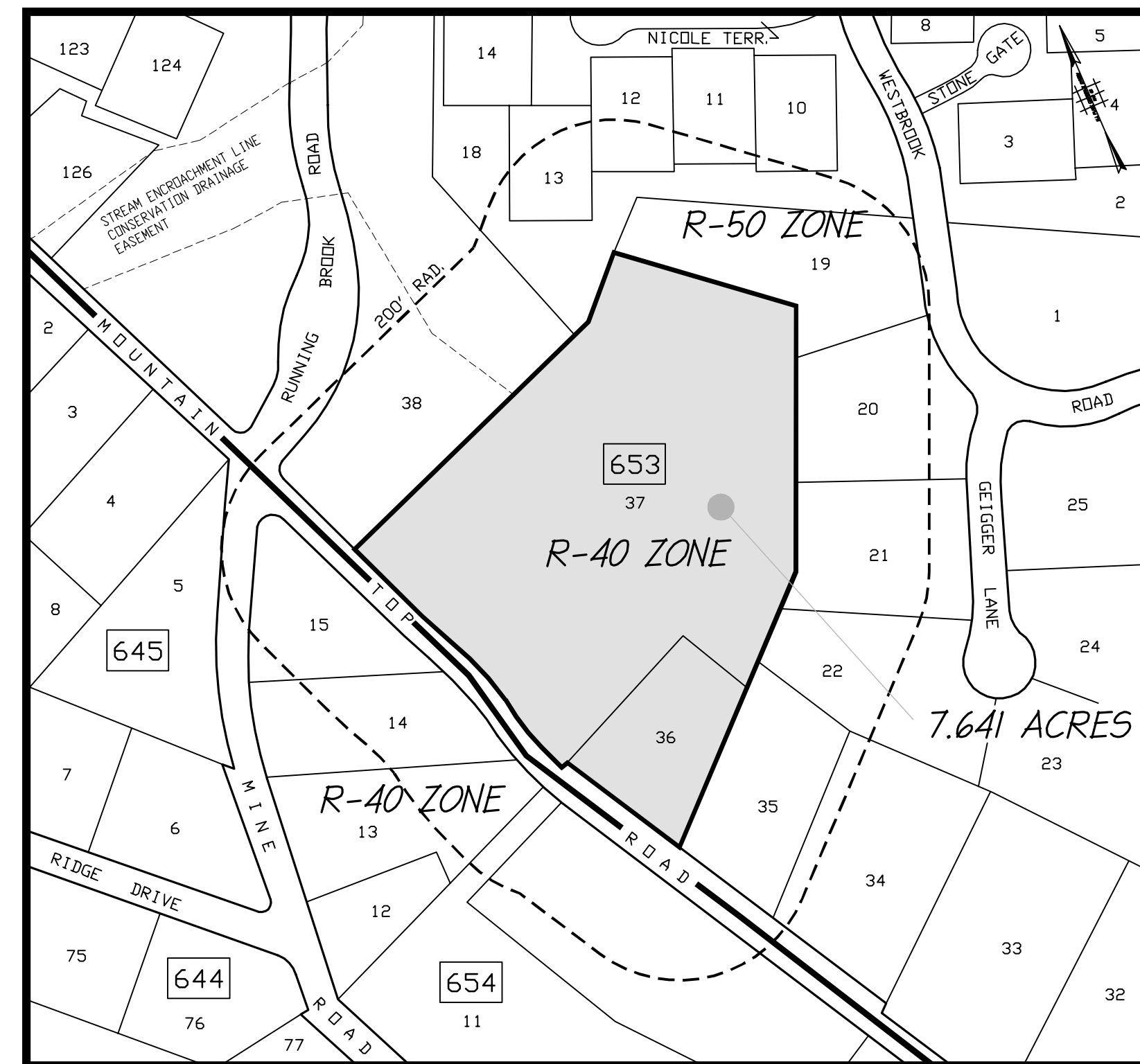
shall allow two working days for the Township Engineering Department to check the proposed elevations against those on the cutsheet.

L. Two working days' notice shall be given to the Township Engineer prior to starting or restarting construction. Four-day notice shall be given for paving work.

M. A sign shall be posted at each entrance to a subdivision indicating that the road is private beyond that point and that people may proceed at their own risk. The sign shall also show the developer's name, phone number and emergency phone number. The signs shall remain until the road is accepted as a public road. If the road will remain private, the temporary sign will be replaced with a small permanent sign.

N. Any new sanitary sewers will be isolated from the existing sewers with a plug to be located where the new sewer connects with the old sewer. The plug is not to be removed until the sewers are finished and ready for final testing. If the plug is removed prior to final testing, then the Township will plug the pipe with masonry. The cost of plugging the line will be paid by the developer.

O. No sanitary sewer is to be used for the transmission of sanitary sewage until the operations permit is issued.



BRIDGEWATER TOWNSHIP TAX MAP SHEET No.'s 32 & 86

KEY MAP

SCALE: 1" = 200' ±

PREPARED BY

VAN CLEEF ENGINEERING ASSOCIATES

P.O. BOX 5877

32 BROWER LANE

HILLSBOROUGH, NEW JERSEY 08844

SEPTEMBER 10, 2018

REVISED OCTOBER 24, 2018

REVISED OCTOBER 31, 2018

REVISED NOVEMBER 21, 2018

REVISED DECEMBER 7, 2018

REVISED NOVEMBER 15, 2019

REVISE MAY 28, 2020

REVISE JUNE 8, 2020

BY: *Michael K. Ford*
Michael K. Ford

New Jersey Professional Engineer
No. 34722

UTILITIES

ELECTRIC

Public Service Electric & Gas
472 Weston Canal Road
Somerset, New Jersey 08873
732-764-3067
732-356-1688 fax

GAS

Public Service Electric & Gas
40 Rock Avenue
Plainfield, New Jersey 07063
973-202-2160
908-412-9562 fax

WATER

New Jersey American Water
120 Raider Blvd.
Hillsborough, New Jersey 08844
908-431-3222
908-874-4266 fax

CABLE

Cablevision
275 Centennial Avenue
Attn: Margurite Prenderville
Construction Dept.

TELEPHONE

Verizon Communications
290 W. Mt. Pleasant Ave.
Livingston, New Jersey 07039
973-422-5151
973-740-2044 fax

OWNER/ APPLICANT:

TOWNSHIP OF BRIDGEWATER
100 COMMONS WAY
BRIDGEWATER, NJ 08807

INDEX OF SHEETS

1. COVER SHEET
2. PROPERTY SURVEY
3. DEMOLITION PLAN
4. PRELIMINARY PLAN
5. GRADING, DRAINAGE & UTILITY PLAN
6. ROAD PROFILE
7. PROFILES - STORM & SANITARY
8. SOIL EROSION CONTROL PLAN
9. SOIL EROSION CONTROL DETAILS
10. LANDSCAPE - TRAFFIC CONTROL PLAN
11. CONSTRUCTION DETAILS

BRIDGEWATER TOWNSHIP APPROVALS

APPLICATION NO. _____
APPROVED BY: _____

ALAN FROSS, _____ DATE _____
CHAIRPERSON - PLANNING BOARD

SCARLETT DOYLE, _____ DATE _____
SECRETARY - PLANNING BOARD

WILLIAM H. BURR, IV, P.E. _____ DATE _____
TOWNSHIP AND BOARD ENGINEER

AREA OF SITE: 7.641 ACRES

AREA AND YARD RESTRICTIONS

R40 CLUSTER OPTION

DESCRIPTION	R-40	CLUSTER / 60-70% (NET)	PROPOSED								
			LOT 10	LOT 11	LOT 12	LOT 13	LOT 14	LOT 15	LOT 16	LOT 17 (OPEN SPACE)	
MINIMUM LOT AREA (CORNER)	45,000	31,500 (70%)	35,629						41,960		
MIN. LOT AREA (INTERIOR)	40,000	24,000 (60%)		24,178	24,021	33,452	36,430	29,176			68,575
MINIMUM LOT WIDTH (CORNER)	170	119 (70%)	136.34'								140.03'
MINIMUM LOT WIDTH (INTERIOR)	150	105 (70%)		124.76'	108.42'	119.16'	141.45'	124.91'			NA
MINIMUM FRONT YARD SETBACK / (PRINCIPAL STRUCTURE)	50'	35' (70%)	35'	35'	35'	35'	35'	35'	35'		NA
MINIMUM SIDE YARD SETBACK / (PRINCIPAL STRUCTURE)	20'	14' (70%)	14'	14'	14'	14'	14'	14'	14'		NA
TOTAL SIDE YARD SETBACK / (PRINCIPAL STRUCTURE)	50'	35' (70%)	35'	35'	35'	35'	35'	35'	35'		NA
MINIMUM REAR YARD SETBACK / (PRINCIPAL STRUCTURE)	50'	35' (70%)	35'	35'	35'	35'	35'	35'	35'		NA
MAXIMUM % OF IMPROVED LOT COVERAGE (BASED ON FULL SIZE)	18%	18%	18%	18%	18%	18%	18%	18%	18%		NA
MAXIMUM FAR (BASED ON FULL SIZE)	0.16	0.16	0.16	0.16	0.16	0.16	0.16	0.16	0.16		NA
MAXIMUM BUILDING HEIGHT	35'	35'	35'	35'	35'	35'	35'	35'	35'		NA

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IN NJ, TOLL FREE

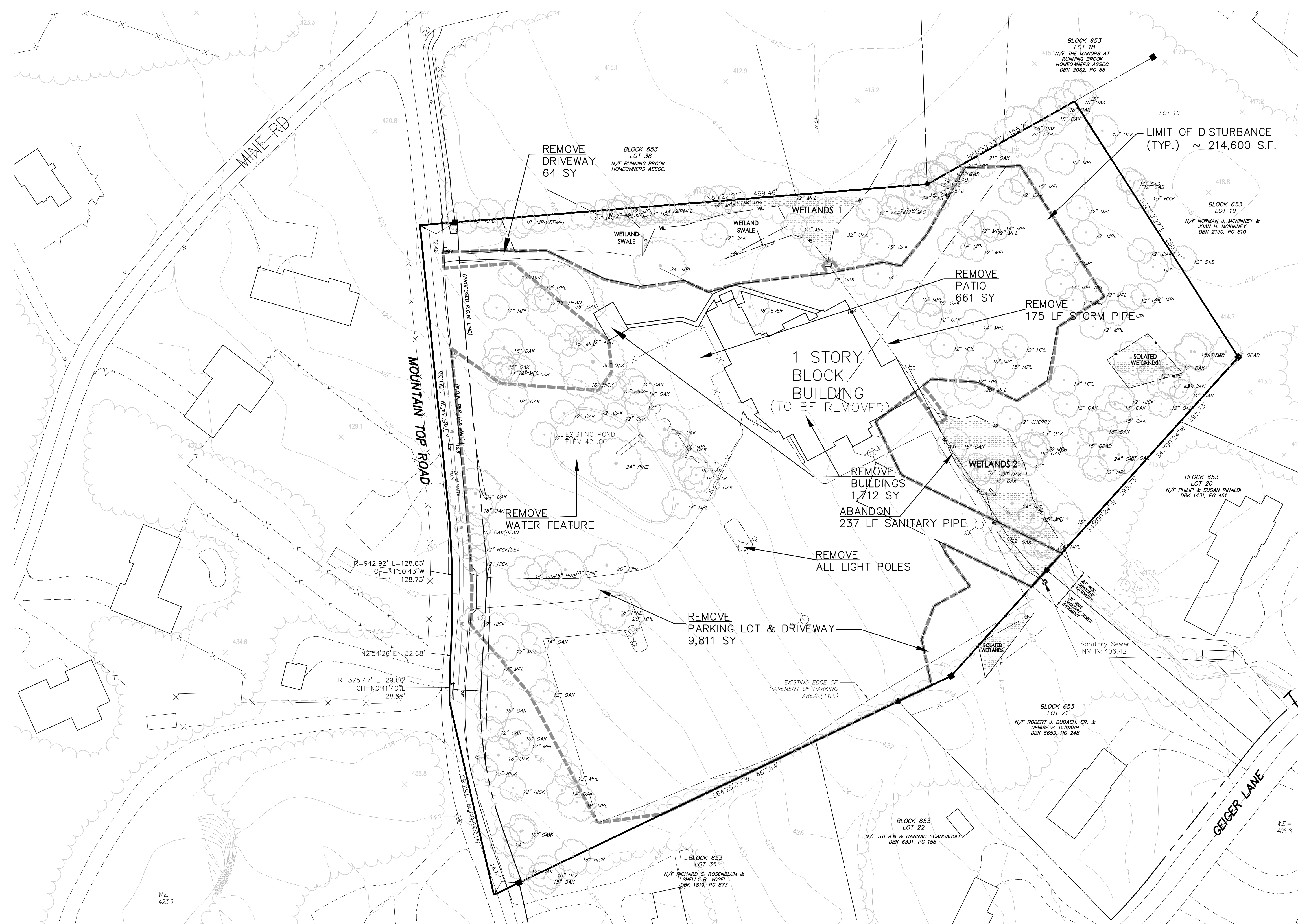
1 - 800 - 272 - 1000

FOR FREE MARKOUTS TO LOCATE UNDERGROUND UTILITIES

"IT'S THE LAW"

GARDEN STATE UNDERGROUND PLANT LOCATION SERVICE, INC.

NOTE: PLANS COMPLY WITH RSIS FOR RESIDENTIAL DEVELOPMENT

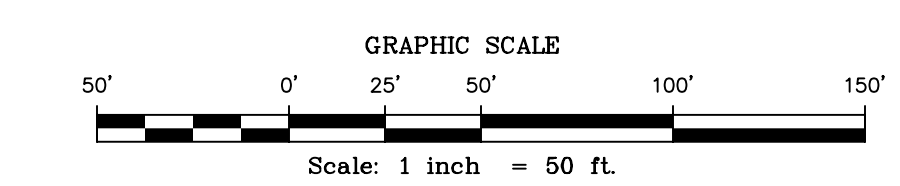


- CONSTRUCTION MITIGATION MEASURES**
- A. THE SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL REMAIN IN FULL FORCE AND EFFECT DURING THE COURSE OF CONSTRUCTION OF THE ENTIRE PROJECT. FAILURE TO COMPLY WITH THE SOIL EROSION AND SEDIMENT CONTROL PLANS SHALL RESULT IN A WORK STOPPAGE UNTIL THE CONDITIONS ARE CORRECTED AND THE PLAN REIMPLEMENTED.
- B. ADDITIONALLY, THE FOLLOWING CONSTRUCTION MITIGATION PRACTICES SHALL BE REQUIRED ON SITE:
1. ANTI-VANDALISM HORNS ON EQUIPMENT SHALL BE ELIMINATED.
 2. PROHIBITED TIMES AND PRACTICES.
- A. THE EXCAVATION, GRADING, PAVING, ERECTION, DEMOLITION, ALTERATION OR REPAIR OF ANY PREMISES, STREET, BUILDING OR STRUCTURE IS PROHIBITED AT ANY TIME ON SUNDAYS, NATIONAL HOLIDAYS OR OTHER THAN THE HOURS OF 8:00 AM AND 4:00 PM ON SATURDAYS OR BETWEEN THE HOURS OF 7:30 AM AND 6:00 PM ON ALL OTHER DAYS, EXCEPT IN THE CASE OF URGENT NECESSITY IN THE INTEREST OF PUBLIC HEALTH, WELFARE AND SAFETY AND THEN ONLY IN ACCORDANCE WITH AN APPROVAL FIRST OBTAINED FROM THE TOWNSHIP ENGINEER, RELATED TO LAND CLEARING AND GRADING, DRAINAGE, SEWER AND WATER UTILITIES AND PUBLIC IMPROVEMENT WORK, OR FROM THE TOWNSHIP CODE ENFORCEMENT OFFICIAL AS TO OTHER WORK. SUCH APPROVAL MAY BE GRANTED FOR A PERIOD NOT TO EXCEED THREE(3) DAYS OR LESS WHILE THE EMERGENCY CONTINUES. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO INTERIOR OR EXTERIOR REPAIRS OR TO INTERIOR ALTERATIONS, THE WORK FOR WHICH IS ACTUALLY PERFORMED BY A HOMEOWNER OR OCCUPANT, PERSONALLY, BETWEEN THE HOURS OF 8:00 AM AND 10:00 PM UPON RESIDENTIAL PREMISES, PROVIDED THAT THE WORK SHALL BE DONE WITHOUT UNDUE NOISE OR DISTURBANCE OF THE PEACE AND QUIET OF THE NEIGHBORHOOD.
- B. THE EXCAVATION, GRADING, PAVING, ERECTION, DEMOLITION, ALTERATION OR REPAIR OF ANY PREMISES, STREET, BUILDING OR STRUCTURE IS PROHIBITED IF THE EFFECT OF SUCH WORK OR ANY ACTIVITY CONNECTED WITH SUCH WORK IS TO CAUSE NOISE, FUMES, SMOKE OR DUST, WHICH PRODUCES A DELETERIOUS EFFECT BEYOND THE BOUNDARIES AND PERIMETER OF THE SITE FROM WHICH IT IS EMANATING.
3. ANTI-LITTER REGULATIONS SHALL BE IMPOSED ON SITE.
 4. THE APPLICANT SHALL ESTABLISH REGULATIONS FOR THE SAFE AND PROPER TRANSFER AND TRANSPORT OF FUEL ON SITE.
 5. TRUCK MATS SHALL BE LOCATED BY THE SOIL EROSION CONTROL OFFICER IN CONJUNCTION WITH THE TOWNSHIP ENGINEER IN SUCH PLACES AS TO MINIMIZE THE TRACKING OF DIRT AND MUD ONTO THE TRAVELED ROADS. THE MATS SHALL BE MAINTAINED AND CLEANED AS NECESSARY TO ACHIEVE THE REQUIRED RESULTS.
 6. CLEANUP AND WASHDOWN OF TRUCKS AND EQUIPMENT SHALL BE REQUIRED BEFORE LEAVING THE CONSTRUCTION SITE. THE DEVELOPER SHALL PROVIDE SUFFICIENT LABORERS AND EQUIPMENT TO CONTROL TRACKING AT ALL ACTIVE EXITS FROM THE SITE.
 7. ADEQUATE PROVISIONS FOR SAFE CONTROL OF EMPLOYEE PARKING INCLUDING EMPLOYEES OF THE CONTRACTOR AND SUBCONTRACTORS, SHALL BE REQUIRED ON SITE DURING CONSTRUCTION.
 8. VIOLATIONS OF THESE CONSTRUCTION MITIGATION MEASURES SHALL RESULT IN A STOP-WORK ORDER, WHICH ORDER SHALL REMAIN IN FULL FORCE AND EFFECT UNTIL THE CONDITION IS REMEDIED TO THE SATISFACTION OF THE TOWNSHIP ENGINEER.
- C. PRIOR TO CONSTRUCTION, INCLUDING SITE WORK, A PRECONSTRUCTION MEETING SHALL BE REQUIRED TO INCLUDE THE TOWNSHIP REPRESENTATIVES, THE APPLICANT AND ITS ENGINEERS AND CONTRACTORS. THE PRECONSTRUCTION MEETING SHALL NOT BE HELD UNTIL A COPY OF THE ENGINEER'S OPINION OF PROBABLE COST HAS BEEN SUBMITTED TO THE MUNICIPALITY FOR COMPUTATION OF ENGINEERING INSPECTION FEES AND FOR A DETERMINATION OF PERFORMANCE BONDS AND SAID FEES AND BONDS HAVE BEEN SUBMITTED AND APPROVED BY THE TOWNSHIP ATTORNEY. NINE SETS OF PLANS CONTAINING ALL CORRECTIONS, ADDITIONS, AND DELETIONS REQUIRED BY THE APPROVING BOARD AND ALL OTHER PRIOR APPROVAL PERMITS SHALL BE PROVIDED AT LEAST 10 DAYS PRIOR TO THE PRECONSTRUCTION MEETING. COPIES OF ALL PERMITS FROM THE FEDERAL, STATE AND COUNTY AGENCIES SHALL BE PROVIDED TO THE TOWNSHIP AT THE MEETING.
- D. ALL NONDISTURBED AREAS ON SITE SHALL BE DEMARCATED BY SNOW FENCE DURING CONSTRUCTION, AND SNOW FENCE SHALL BE INSTALLED ON SITE PRIOR TO ANY CONSTRUCTION ACTIVITY INCLUDING SITE WORK. A VIOLATION OF THE NONDISTURBED AREAS WILL RESULT IN A STOP-WORK ORDER FOR THAT AREA AFFECTED BY THE VIOLATION, AS DETERMINED BY THE TOWNSHIP ENGINEER, AND SAID STOP-WORK ORDER SHALL REMAIN IN FULL FORCE AND EFFECT UNTIL THE VIOLATION IS CORRECTED AND ANY DAMAGE CREATED BY THE VIOLATION IS RESTORED TO ITS ORIGINAL STATE.
- E. SHOULD BLASTING BE REQUIRED ON SITE, THE APPLICANT SHALL, IN ADDITION TO ANY STATE PERMITS THAT MAY BE REQUIRED, NOTIFY ALL OWNERS WITHIN 200 FEET OF THE PROPERTY LINE TWO WEEKS PRIOR TO THE DATE OF SAID BLASTING AND SHALL CONDUCT A MEETING WITH THE PROPERTY OWNERS AT LEAST ONE WEEK PRIOR TO BLASTING. THE PURPOSE OF THE MEETING SHALL BE TO INFORM THE RESIDENTS AND TO ADVISE THEM OF SUCH MITIGATION MEASURES AS MAY BE APPROPRIATE. THE BLASTING CONTRACTOR SHALL USE A SEISMOGRAPH AND SEND THE TEST RESULTS TO THE STATE AND TO THE TOWNSHIP.
- F. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR FOOTING AND FOUNDATION ONLY, THE ROADS SHALL BE IN PASSABLE CONDITION AND THE SANITARY SEWERS ACCEPTED. PRIOR TO THE ISSUANCE OF THE FRAMING PERMIT THE ROADS MUST BE PAVED, THE FIRE HYDRANTS ACTIVE AND READY FOR USE. SANITARY SEWERS UNDER PAVED AREAS WILL NOT BE APPROVED UNTIL THE BASE COURSE OF ASPHALT IS INSTALLED. PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY, ALL UTILITIES, INCLUDING STREETLIGHTS, SHALL BE ACTIVATED AND ROAD SIGNS SHALL BE INSTALLED.
- G. CONSTRUCTION OF IMPROVEMENTS TO EXISTING PUBLIC ROADS SHALL BE GIVEN PRECEDENCE TO ON-SITE CONSTRUCTION.
- H. DEVELOPERS SHALL BE HELD RESPONSIBLE FOR DAMAGE TO PUBLIC ROADS, PRIVATE PROPERTY, VEHICLES AND PERSONNEL INJURIES CAUSED BY THEIR ACTIONS, AS DETERMINED BY THE TOWNSHIP ENGINEER. NO PERMANENT CERTIFICATES OF OCCUPANCY WILL BE ISSUED TO DEVELOPERS WITH UNRESOLVED INSURANCE CLAIMS.
- I. SANITARY FACILITIES MUST BE PROVIDED FOR CONSTRUCTION WORKERS. FACILITIES MUST ALSO BE PROVIDED FOR DISPOSAL OF FOOD AND DRINK CONTAINERS. NO GARBAGE IS TO BE DISPOSED OF ON THE SITE.
- J. IF A SITE IS TO BE LEFT UNWORKED FOR MORE THAN 30 DAYS, THE SITE MUST BE GRADED AND SEEDED.
- K. NO PIPE, CURB, CONTROL STRUCTURE, INLET, MANHOLE OR LOW FLOW CHANNEL SHALL BE CONSTRUCTED WITHOUT CUTSHEETS. THE CONTRACTOR SHALL ALLOW TWO WORKING DAYS FOR THE TOWNSHIP ENGINEERING DEPARTMENT TO CHECK THE PROPOSED ELEVATIONS AGAINST THOSE ON THE CUTSHEETS.
- L. TWO WORKING DAYS' NOTICE SHALL BE GIVEN TO THE TOWNSHIP ENGINEER PRIOR TO STARTING OR RESTARTING CONSTRUCTION. FOUR-DAY NOTICE SHALL BE GIVEN FOR PAVING WORK.
- M. A SIGN SHALL BE POSTED AT EACH ENTRANCE TO A SUBDIVISION INDICATING THAT THE ROAD IS PRIVATE BEYOND THAT POINT AND THAT PEOPLE MAY PROCEED AT THEIR OWN RISK. THE SIGN SHALL ALSO SHOW THE DEVELOPER'S NAME, PHONE NUMBER AND EMERGENCY PHONE NUMBER. THE SIGNS SHALL REMAIN UNTIL THE ROAD IS ACCEPTED AS A PUBLIC ROAD. IF THE ROAD WILL REMAIN PRIVATE, THE TEMPORARY SIGN WILL BE REPLACED WITH A SMALL PERMANENT SIGN.
- N. ANY NEW SANITARY SEWERS WILL BE ISOLATED FROM THE EXISTING SEWERS WITH A PLUG TO BE LOCATED WHERE THE NEW SEWER CONNECTS WITH THE OLD SEWER. THE PLUG IS NOT TO BE REMOVED UNTIL THE SEWERS ARE FINISHED AND READY FOR FINAL TESTING. IF THE PLUG IS REMOVED PRIOR TO FINAL TESTING, THEN THE TOWNSHIP WILL PLUG THE PIPE WITH MASONRY. THE COST OF PLUGGING THE LINE WILL BE PAID BY THE DEVELOPER.
- O. NO SANITARY SEWER IS TO BE USED FOR THE TRANSMISSION OF SANITARY SEWAGE UNTIL THE OPERATIONS PERMIT IS ISSUED.

NOTE: ALL EXISTING SITE IMPROVEMENTS SUCH AS BUILDING, POND, DRIVEWAYS, WALKWAYS, PARKING AREAS ARE TO BE REMOVED.

NOTE: EVERY EFFORT IS TO BE MADE TO SAVE MATURE, HEALTHY TREES ON THE SUBJECT PROPERTY. UPON FINALIZATION OF THE INDIVIDUAL PLOT AND GRADING PLANS FOR THE PROPOSED HOMES, A DETERMINATION WILL BE MADE AS TO WHICH TREES WILL BE REMOVED TO FACILITATE THE REDEVELOPMENT OF THIS PROPERTY.

- DEMOLITION NOTES**
1. EXISTING UTILITIES, PAVEMENT, CURB, LANDSCAPING, BUILDING, CONCRETE SIDEWALK, LIGHTING FEATURES, ETC. SHALL BE REMOVED, CAPPED, RECONSTRUCTED, AND / OR RELOCATED AS NECESSARY IN THE AREAS OF CONSTRUCTION.
 2. SITE LIGHTING, UNDERGROUND CONDUIT, WATER, GAS, TELEPHONE, SANITARY SEWER LATERALS AND STORM DRAINAGE ALL SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL VERIFY AND PROTECT ALL UTILITIES IN AREAS OF EXCAVATION.
 3. THE CONTRACTOR SHALL NOT REMOVE FROM SERVICE ANY UTILITY WITHOUT VERIFICATION THAT THE SERVICE HAS BEEN REROUTED, CAPPED OR TAKEN OUT OF SERVICE. ROOF LEADERS, SANITARY SEWERS, GAS, ELECTRIC, TELEPHONE, WATER, SITE LIGHTING AND ANY MISCELLANEOUS UTILITY SHALL REMAIN IN SERVICE AT ALL TIMES DURING CONSTRUCTION.
 4. THE CONTRACTOR SHALL BACKFILL ALL DEMOLITION TO SUBGRADE USING SUITABLE MATERIAL AND SHALL PLACE AND COMPACT BACKFILL IN LIFTS TO ASSURE 95% PROCTOR. BACKFILL MATERIAL SHALL BE APPROVED BY THE TOWNSHIP ENGINEER OR HIS DESIGNEE.
 5. ALL DEBRIS, CONCRETE CHUNKS, TREE STUMPS, AND OTHER UNSUITABLE MATERIAL RESULTING FROM THE SITE GRADING AND EXISTING STRUCTURAL DEMOLITION SHALL BE DISPOSED OF AT AN APPROVED DISPOSAL LOCATION. ON UNSUITABLE MATERIALS SHALL BE PERMITTED TO BE BURIED ON SITE.
 6. A RECYCLING PLAN FOR THE CONSTRUCTION AND DEMOLITION DEBRIS SHALL BE SUBMITTED TO THE ENVIRONMENTAL OFFICER OF BRIDGEWATER.
 7. THE APPLICANT SHALL RESCUE ALL REQUIRED DEMOLITION PERMITS.



		DATE: SEPTEMBER 10, 2018
		SCALE: 1" = 50'
		DESIGNED BY: W.C.T.
REVISED SITE LAYOUT	M.K.F.	12/7/18
PER TOWNSHIP	W.C.T.	10/24/18
REVISIONS	AUTH.	DATE
		JOB No. 5902

BY: *Michael K. Ford*
 Michael K. Ford
 New Jersey Professional Engineer
 No. 34722

Van Cleef
 ENGINEERING ASSOCIATES, LLC

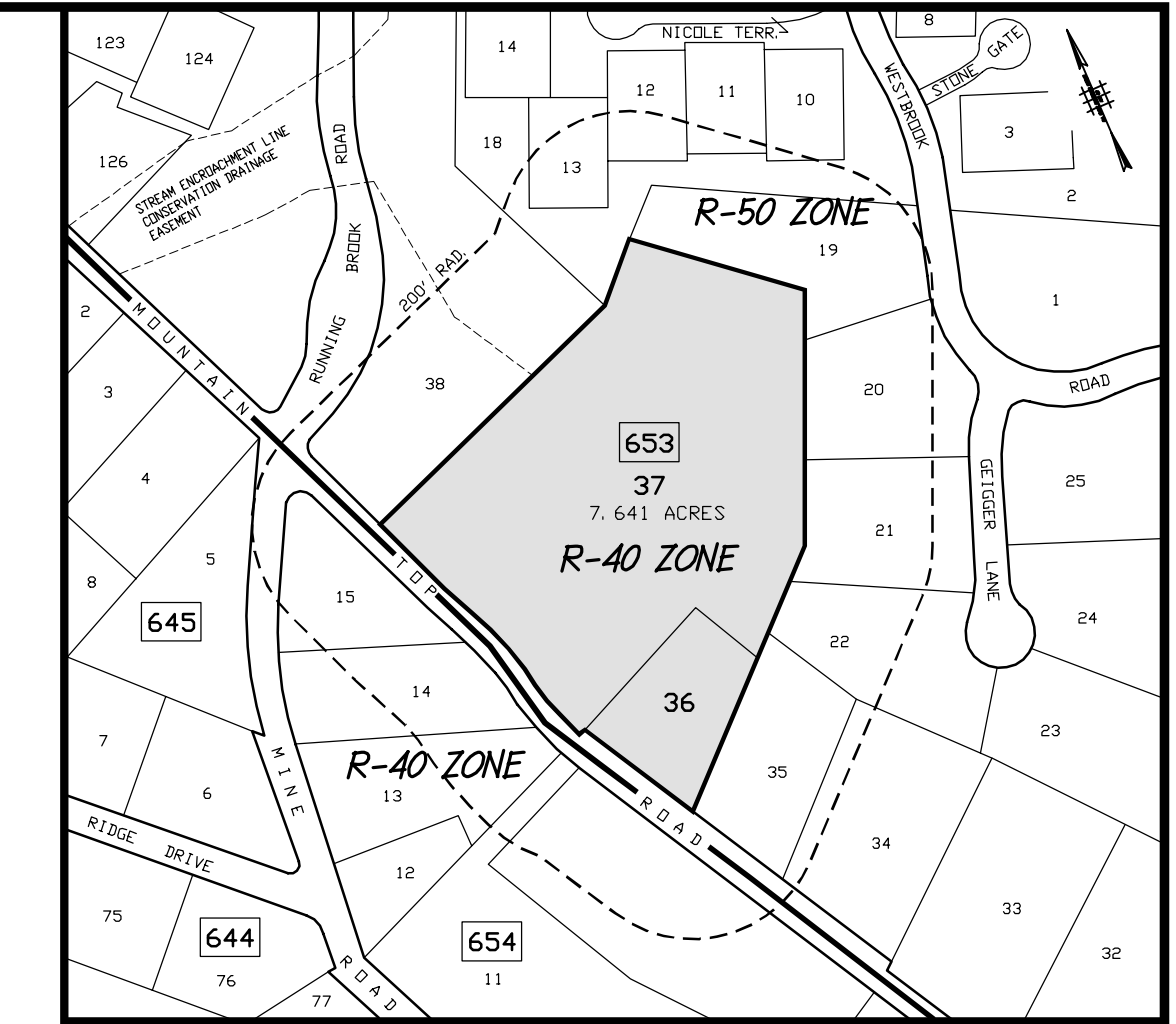
32 BROOKER LANE, PO BOX 8877, HILLSBOROUGH, NJ 08044
 EMAIL: CONTACTUS@VANCLEEFENGINEERING.COM
 WEB: WWW.VANCLEEFENGINEERING.COM
 PHONE: (908) 359-8291 FAX: (908) 359-1580

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NJ LLC CERT. No. 24GA28132300

DEMOLITION PLAN
 FOR
BLOCK 653 LOTS 36 & 37
 SITUATED IN
 BRIDGEWATER TOWNSHIP,
 SOMERSET COUNTY, NEW JERSEY



BRIDGEWATER TOWNSHIP TAX MAP SHEET No. 32 & 86
KEY MAP
SCALE: 1" = 300'

CURVE NO.	RADIUS	LENGTH	DELTA	CHORD LENGTH	CHORD DIRECTION
C1	25.00'	39.62'	90°47'50"	35.60'	N 50°41'10" W
C2	17.00'	26.93'	90°44'59"	24.20'	N 38°32'25" W
C3	58.00'	275.48'	272°08'34"	80.47'	N 50°45'47" W
C4	58.00'	67.28'	66°27'56"	63.57'	S 26°23'54" W
C5	58.00'	67.61'	66°47'41"	63.85'	N 86°58'17" W
C6	58.00'	80.56'	79°35'00"	74.24'	N 13°46'57" W
C7	58.00'	60.03'	59°17'57"	57.38'	S 55°39'32" W
C8	25.00'	36.80'	84°20'23"	33.57'	S 41°44'42" W

CURVE NO.	RADIUS	LENGTH	DELTA	CHORD LENGTH	CHORD DIRECTION
C9	25.00'	16.93'	38°47'50"	16.61'	S 24°41'10" E
C10	58.00'	15.17'	14°59'19"	15.13'	N 61°04'06" W
C11	58.00'	20.00'	19°45'28"	19.90'	N 4°02'30" W
C12	58.00'	20.42'	20°10'19"	20.31'	N 15°55'24" E
C13	58.00'	20.42'	20°10'22"	20.31'	N 36°05'42" E
C14	25.00'	13.68'	31°21'43"	13.51'	N 15°15'22" E
C15	240.00'	16.47'	3°55'58"	16.47'	N 1°32'25" E
C16	335.00'	73.93'	12°38'39"	73.78'	N 2°48'55" W

AREA AND YARD RESTRICTIONS
R40 CLUSTER OPTION

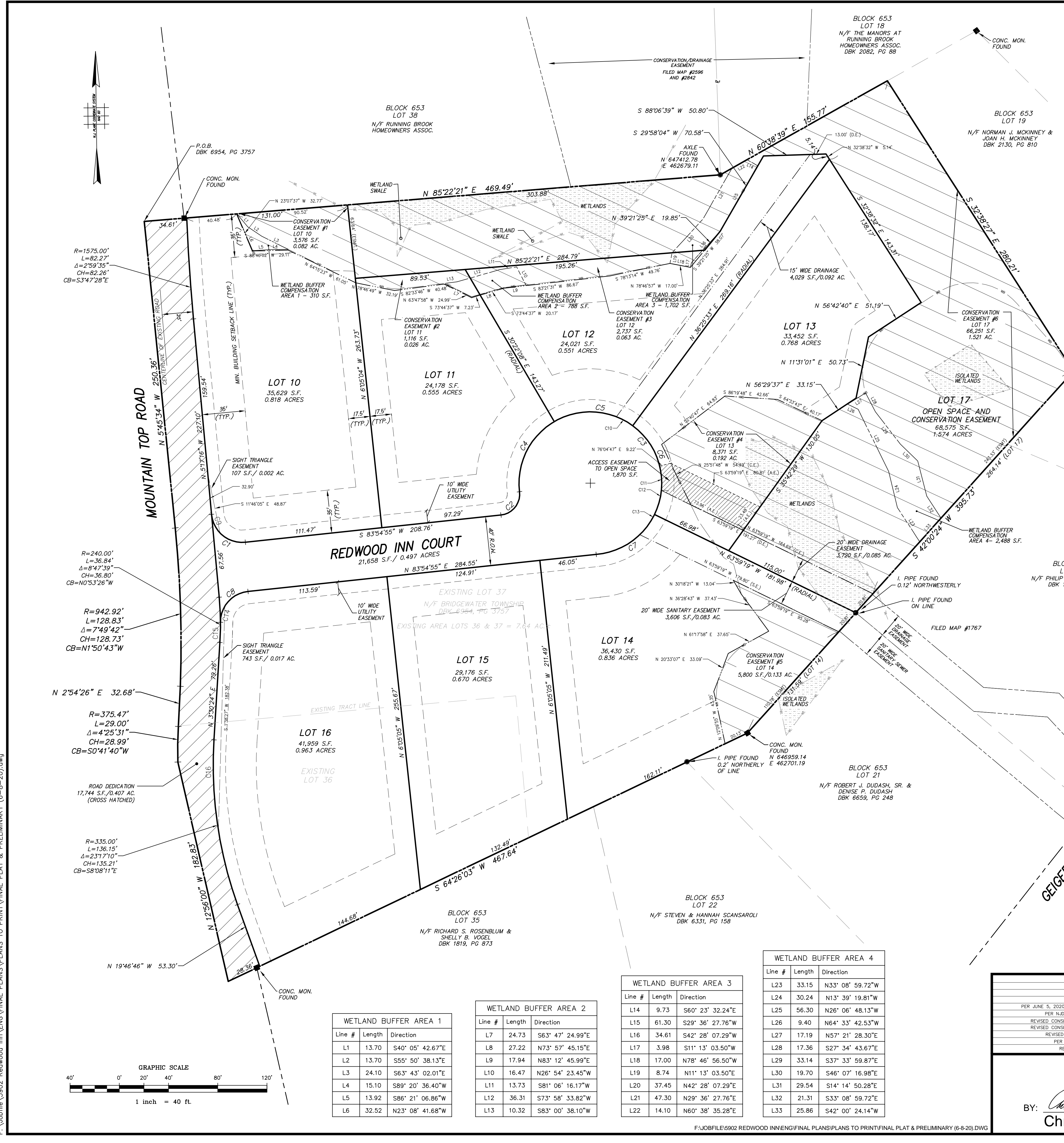
DESCRIPTION	R-40	CLUSTER / 60-70% (NET)	PROPOSED								
			LOT 10	LOT 11	LOT 12	LOT 13	LOT 14	LOT 15	LOT 16	LOT 17 (OPEN SPACE)	
MINIMUM LOT AREA (CORNER)	45,000	31,500 (70%)	35,629							41,960	
MIN. LOT AREA (INTERIOR)	40,000	24,000 (60%)		24,178	24,021	33,452	36,430	29,176			68,575
MINIMUM LOT WIDTH (CORNER)	170	119 (70%)	136.34'								140.03'
MINIMUM LOT WIDTH (INTERIOR)	150	105 (70%)		124.76'	108.42'	119.16'	141.45'	124.91'			NA
MINIMUM FRONT YARD SETBACK / (PRINCIPAL STRUCTURE)	50'	35' (70%)	35'	35'	35'	35'	35'	35'	35'		NA
MINIMUM SIDE YARD SETBACK / (PRINCIPAL STRUCTURE)	20'	14' (70%)	14'	14'	14'	14'	14'	14'	14'		NA
TOTAL SIDE YARD SETBACK / (PRINCIPAL STRUCTURE)	50'	35' (70%)	35'	35'	35'	35'	35'	35'	35'		NA
MINIMUM REAR YARD SETBACK / (PRINCIPAL STRUCTURE)	50'	35' (70%)	35'	35'	35'	35'	35'	35'	35'		NA
MAXIMUM % OF IMPROVED LOT COVERAGE (BASED ON FULL SIZE)	18%	18%	18%	18%	18%	18%	18%	18%	18%		NA
MAXIMUM FAR (BASED ON FULL SIZE)	0.16	0.16	0.16	0.16	0.16	0.16	0.16	0.16	0.16		NA
MAXIMUM BUILDING HEIGHT	35'	35'	35'	35'	35'	35'	35'	35'	35'		NA

CONSERVATION EASEMENT SUMMARY:

EASEMENT #	LOT #	AREA	
		S.F.	ACRES
1	10	3,576	0.082
2	11	1,116	0.026
3	12	2,737	0.063
4	13	8,371	0.192
5	14	5,800	0.133
6	17	66,251	1.521
TOTAL:		87,852	2.017

AREAS SUMMARY:

MOUNTAIN ROAD DEDICATION	0.407 ACRES
REDWOOD INN COURT DEDICATION	0.497 ACRES
7 (SEVEN) RESIDENTIAL LOTS	5.163 ACRES
OPEN SPACE LOT	1.574 ACRES
LANDS TOTAL:	7.641 ACRES

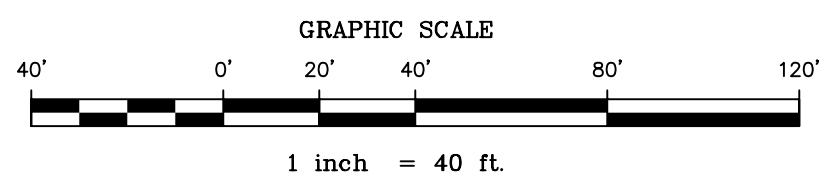


Line #	Length	Direction
L1	13.70	S40° 05' 42.67"E
L2	13.70	S55° 50' 38.13"E
L3	24.10	S63° 43' 02.01"E
L4	15.10	S89° 20' 36.40"W
L5	13.92	S86° 21' 06.86"W
L6	32.52	N23° 08' 41.68"W

Line #	Length	Direction
L7	24.73	S63° 47' 24.99"E
L8	27.22	N73° 57' 45.15"E
L9	17.94	N83° 12' 45.99"E
L10	16.47	N26° 54' 23.45"W
L11	13.73	S81° 06' 16.17"W
L12	36.31	S73° 58' 33.82"W
L13	10.32	S83° 00' 38.10"W

Line #	Length	Direction
L14	9.73	S60° 23' 32.24"E
L15	61.30	S29° 36' 27.76"W
L16	34.61	S42° 28' 07.29"W
L17	3.98	S11° 13' 03.50"W
L18	17.00	N78° 46' 56.50"W
L19	8.74	N11° 13' 03.50"E
L20	37.45	N42° 28' 07.29"E
L21	47.30	N29° 36' 27.76"E
L22	14.10	N60° 38' 35.28"E

Line #	Length	Direction
L23	33.15	N33° 08' 59.72"W
L24	30.24	N13° 39' 19.81"W
L25	56.30	N26° 06' 48.13"W
L26	9.40	N64° 33' 42.53"W
L27	17.19	N57° 21' 28.30"E
L28	17.36	S27° 34' 43.67"E
L29	33.14	S37° 33' 59.87"E
L30	19.70	S46° 07' 16.98"E
L31	29.54	S14° 14' 50.28"E
L32	21.31	S33° 08' 59.72"E
L33	25.86	S42° 00' 24.14"W



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F:\Jobfile\5902 Redwood Inn\ENGIN\FINAL PLANS\PLANS TO PRINT\FINAL PLAT & PRELIMINARY (6-8-20).DWG

PER JUNE 9, 2020 COMPLETENESS REVIEW	M.K.F.	6-8-20
PER SLOOP APPROVAL	M.K.F.	5-28-20
REVISED CONSERVATION EASEMENT	M.K.F.	11-25-19
REVISED CONSERVATION EASEMENT	M.K.F.	12-7-18
REVISED SITE LAYOUT	M.K.F.	12-7-18
PER TOWNSHIP	T.B.E.	11-21-18
REVISED	DATE	

DATE: SEPTEMBER 5, 2018
SCALE: 1" = 40'
DESIGNED BY: W.C.T.
DRAWN BY: T.E.
CHECKED BY: W.C.T.
JOB No. 5902

BY: *Christopher A. Melick*
Christopher A. Melick
New Jersey Professional Land Surveyor No. 24G03586000

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Geotechnical Engineering
Water / Wastewater
Municipal Engineering
Land Surveying
Professional Planning
Landscape Architecture
NJ LLC CERT. NO. 24G28132300

PRELIMINARY SUBDIVISION PLAN
FOR
BLOCK 653 LOTS 36 & 37
BRIDGEWATER TOWNSHIP,
SOMERSET COUNTY, NEW JERSEY

4

GENERAL NOTES

1. PRIOR TO START OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, SIZE AND DIMENSION OF ALL UNDERGROUND UTILITIES. VAN CLEEF ENGINEERING ASSOCIATES, L.L.C. ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF BURIED UTILITIES SHOWN NOR LACK THEREOF. THE CONTRACTOR SHALL CONTACT THE UTILITY MARK OUT SERVICE BY CALLING 1-800-272-1000 PRIOR TO THE START OF THE CONSTRUCTION.
2. ANY DISCREPANCIES IN REFERENCED COORDINATES, ELEVATIONS, EXISTING DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.
3. ALL DEBRIS CONCRETE CHUNKS, TREE STUMPS, AND OTHER UNSUITABLE MATERIAL RESULTING FROM THE SITE GRADING AND EXISTING STRUCTURAL DEMOLITION SHALL BE DISPOSED OF AT AN APPROVED DISPOSAL LOCATION. NO UNSUITABLE MATERIALS SHALL BE PERMITTED TO BE BURIED ON SITE.
4. ALL IMPROVEMENTS SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THE MOST RECENT CONSTRUCTION STANDARDS OF THE TOWNSHIP OF BRIDGEWATER.
5. IN INSTANCES WHERE THE TOWNSHIP SPECIFICATIONS PROVIDE NO DETAILED SPECIFICATION, THE MATERIALS AND METHODS OF CONSTRUCTION SHALL MEET AND CONFORM TO THE REQUIREMENTS OF "THE STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" FOR THE NEW JERSEY DEPARTMENT OF TRANSPORTATION.
6. ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND.
7. THE PROPOSED CATCH BASIN CURB PIECES SHALL BE CONSISTENT WITH THE NEW STORMWATER MANAGEMENT RULES.
8. ALL CONSTRUCTION TO BE PER NJDOT STANDARD SPECIFICATIONS, LATEST VERSION.
9. ALL TRAFFIC SIGNS SHALL MEET THE STANDARDS SET FORTH IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
10. UNDERDRAINS WILL BE INSTALLED BENEATH THE STABILIZED BASE COURSE WHERE THE SITE CONDITIONS WARRANT THEM AS DIRECTED BY THE TOWNSHIP ENGINEER/P.
11. THE PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA.
12. STREET TREES PLANTED ON THE PROPERTY SHALL BE PLANTED AT LEAST THREE(3) FEET INSIDE THE PROPERTY LINE, BUT NOT IN ANY DRAINAGE AREAS OR ELECTRICAL BOX AREAS.
13. DRAINAGE EASEMENTS AND ALL WATERCOURSE AREAS SHALL BE CLEANED OF DEBRIS AND FALLEN LIMBS PRIOR TO ANY LAND DISTURBANCE FOR THE REVIEW AND APPROVAL OF THE TOWNSHIP PLANNER.
14. TREES TO BE SAVED SHALL BE MARKED PRIOR TO ANY LAND DISTURBANCE FOR THE REVIEW AND APPROVAL OF THE TOWNSHIP PLANNER.
15. THE POSITIONING OF PROPOSED TREES SHALL AVOID TELEPHONE, ELECTRIC, GAS LINES AND THE GENERAL CONTRACTOR SHALL COMPLY WITH ALL SECTIONS OF CHAPTER 14 OF THE 2006 IFC NJ EDITION WHICH INCLUDES A FIRE PREVENTION PROGRAM SUPERINTENDENT.
16. BEFORE AND DURING CONSTRUCTION/DEMOLITION, WHERE FIRE PREVENTION SYSTEMS NEED TO BE DISABLED OR TAKEN OUT OF SERVICE TO ADD OR CHANGE A SYSTEM OR TO AVOID FALSE ALARMS, THE FIRE OFFICIALS SHALL BE NOTIFIED AND THE SHUTDOWN PROCEDURES SHALL BE FOLLOWED.
17. LOT 36 TO BE MERGED WITH LOT 37 AND A NEW DEED DESCRIPTION TO BE PROVIDED.
18. EXISTING PUBLIC SEWER AND WATER TO BE MAINTAINED FOR PROJECT.
19. PROPOSED BUILDING DIMENSIONS TO BE VERIFIED WITH ARCHITECT PRIOR TO CONSTRUCTION.
20. THESE ARE TO BE NO FIELD CHANGES MADE UNLESS APPROVED BY THE DESIGN ENGINEER AND SUBSEQUENTLY BY THE RESPONSIBLE AGENCY.
21. EXISTING TREES ON-SITE SHALL BE PROTECTED WITH TREE PROTECTION FENCING AS NECESSARY.
22. IN BUFFER AREAS ALL TREES AND ALL UNDERSTORY VEGETATION WILL REMAIN.
23. SLOPES GREATER THAN 10% IN SUBJECT PROPERTY TO BE CALLED OUT.

**PROPOSED PLANS SEWER USE:
300 GAL/DAY PER DWELLING X 7
DWELLINGS = 2,100 GAL/DAY**

GENERAL PERMIT

- GP#2 WETLAND TRANSITION AREA DISTURBANCE, 0.044 AC.
- GP#2 WETLAND DISTURBANCE UTILITY LINE CROSSING, 0.005 AC.
- SPECIAL ACTIVITY REDEVELOPMENT MAINTENANCE TRANSITION AREA DISTURBANCE 0.027 AC.
- GP#11 WETLAND TRANSITION AREA DISTURBANCE 0.043 AC.
- GP#11 OUTFALL WETLAND DISTURBANCE 0.025 AC.

- WL WETLAND LIMIT
- WB EXISTING WETLAND BUFFER LIMIT
- WP PROPOSED WETLAND BUFFER LIMIT
- PROPOSED SPLIT RAIL FENCE
- CONSERVATION EASEMENT SIGN

WETLAND TRANSITION AREA 1 AVERAGING

- EXISTING STANDARD TRANSITION AREA = 21,149 SF
- REDUCTION AREA = 2,766 S.F. TOTAL
- COMPENSATION AREA = 2,800 S.F. TOTAL
- EXISTING DISTURBED WETLAND BUFFER AREA TO BE RESTORED = 1,799 S.F. TOTAL
- TOTAL ADDITIONAL COMPENSATION = 34 S.F.
- TOTAL TRANSITION AREA = 21,183 SF

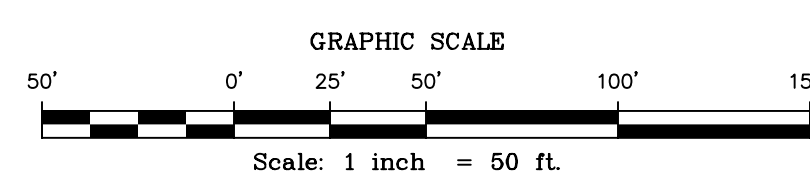
WETLAND PERMITTING/APPROVALS SUBJECT TO NJDEP APPROVAL.

WETLAND TRANSITION AREA 2 AVERAGING

- EXISTING STANDARD TRANSITION AREA = 23,288 SF
- REDUCTION AREA = 2,476 S.F. TOTAL
- COMPENSATION AREA = 2,488 S.F. TOTAL
- EXISTING DISTURBED WETLAND BUFFER AREA TO BE RESTORED = 5,985 S.F. TOTAL
- TOTAL ADDITIONAL COMPENSATION = 12 S.F.
- TOTAL TRANSITION AREA = 23,300 SF

PERMIT AREAS		
PERMIT	DISTURBANCE TO WETLANDS TRANSITION AREA	DISTURBANCE TO WETLANDS
GP #2	0.044 ACRES	0.005 ACRES
GP #11	0.043 ACRES	0.025 ACRES
TOTALS	0.087 ACRES	0.030 ACRES*

* THE PROPOSED TOTAL WETLAND DISTURBANCE IS LESS THAN 0.1 AC THEREFORE NO MITIGATION IS REQUIRED.



DATE: SEPTEMBER 10, 2018	DESIGNED BY: W.C.T.
SCALE: 1" = 50'	DRAWN BY: A.B.
PER JUNE 5, 2020 COMPLETENESS REVIEW	CHECKED BY: W.C.T.
PER NJDEP APPROVAL	JOB No. 5902
REVISED CONSERVATION EASEMENT	
REVISED SITE LAYOUT	
PER TOWNSHIP REVISIONS	

BY: *Michael K. Ford*
Michael K. Ford
New Jersey Professional Engineer
No. 34722

Van Cleef
ENGINEERING ASSOCIATES, LLC

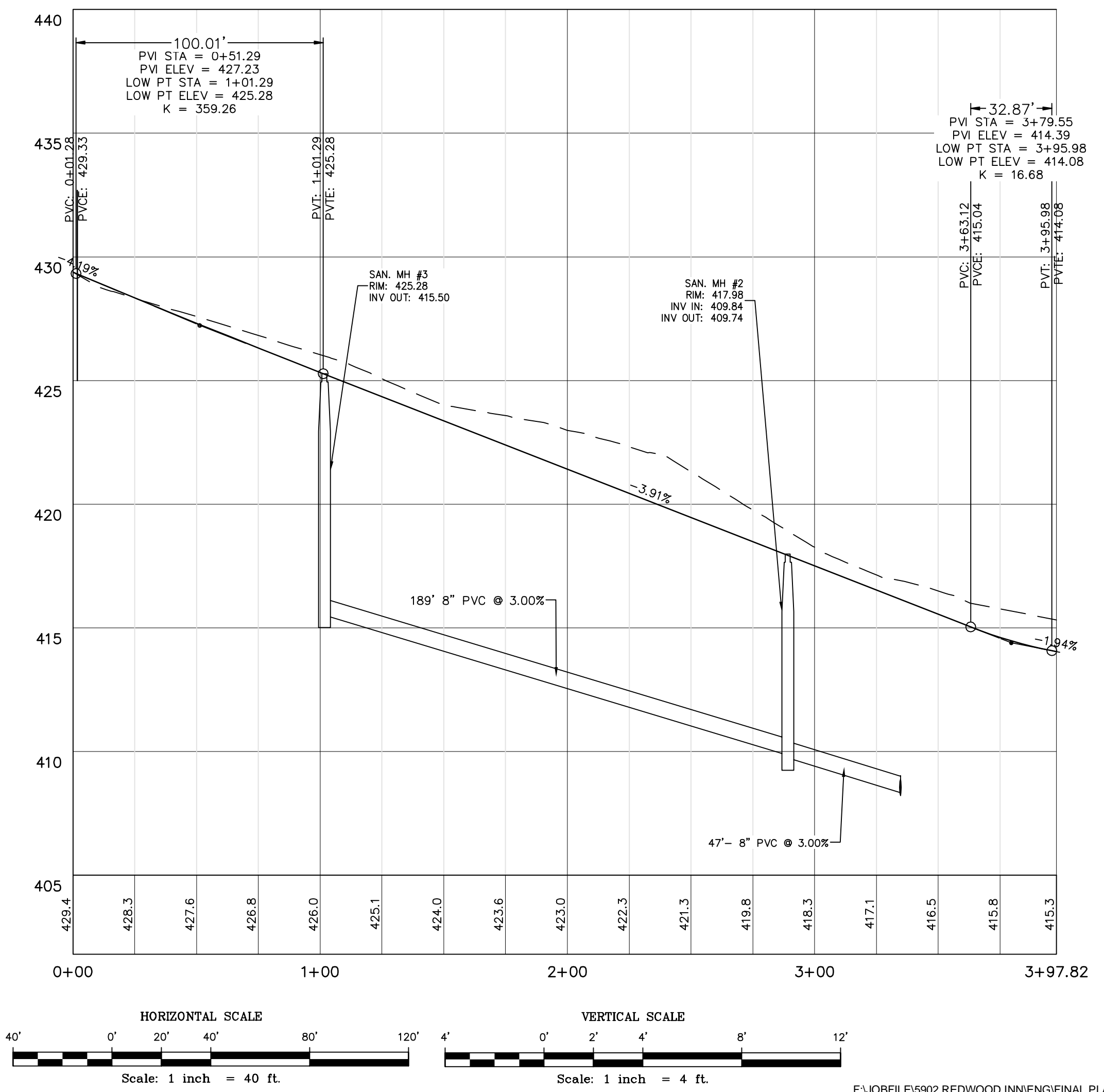
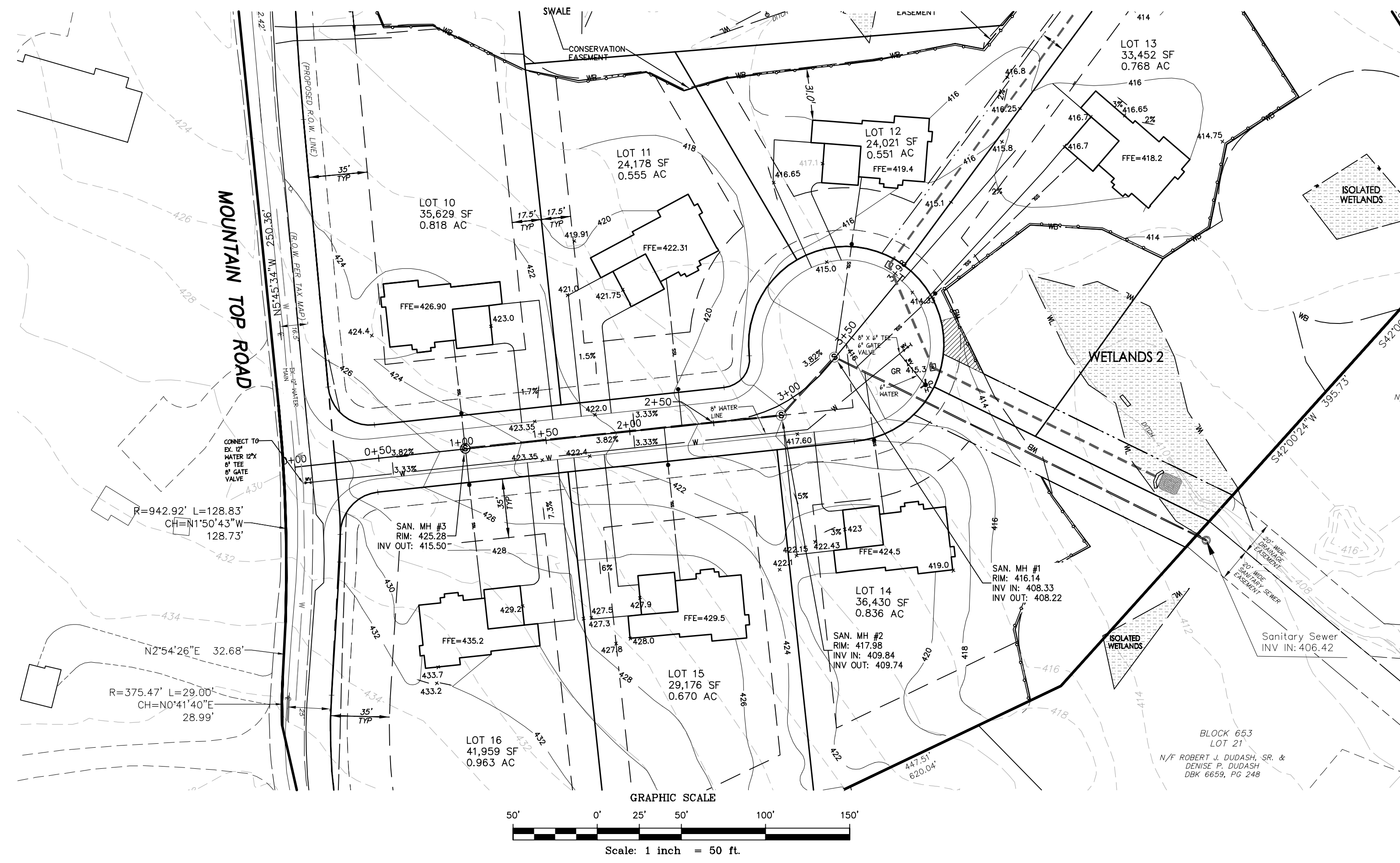
32 BROOKER LANE, PO BOX 8877, HILLSBOROUGH, NJ 08844
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Land Surveying
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Landscape Architecture

NJ LLC CERT. No. 24GA28132300

GRADING, DRAINAGE & UTILITY PLAN
FOR
BLOCK 653 LOTS 36 & 37
SITUATED IN
BRIDGEWATER TOWNSHIP,
SOMERSET COUNTY, NEW JERSEY



		DATE: SEPTEMBER 10, 2018
		SCALE: 1" = 50'
REVISED CONSERVATION EASEMENT	M.K.F. 11/15/19	DESIGNED BY: W.C.T.
REVISED SITE LAYOUT	M.K.F. 12/7/18	DRAWN BY: T.E.
PER TOWNSHIP	W.C.T. 10/24/18	CHECKED BY: W.C.T.
REVISIONS	AUTH. DATE	JOB No. 5902

Van Cleef
ENGINEERING ASSOCIATES, LLC

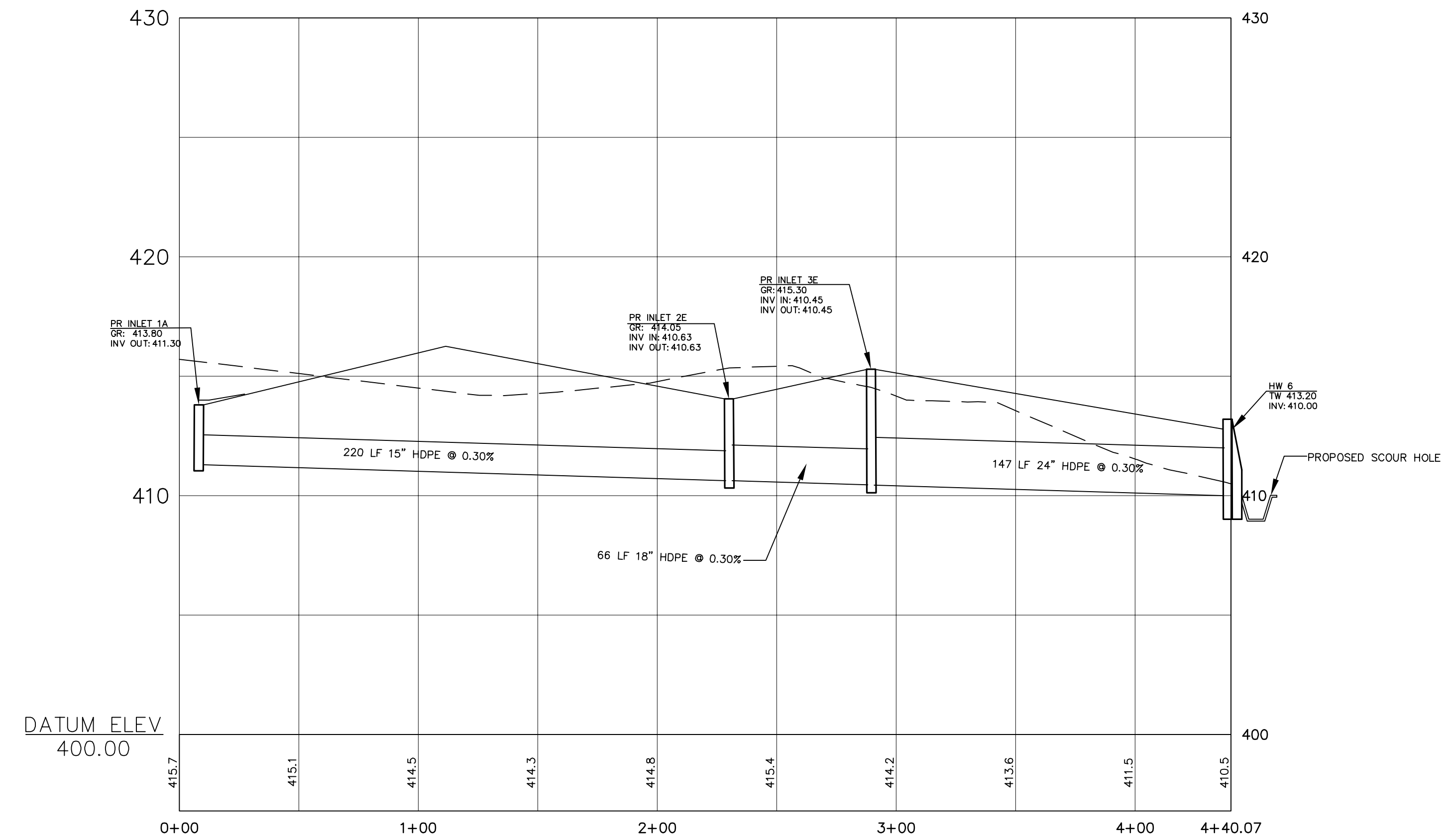
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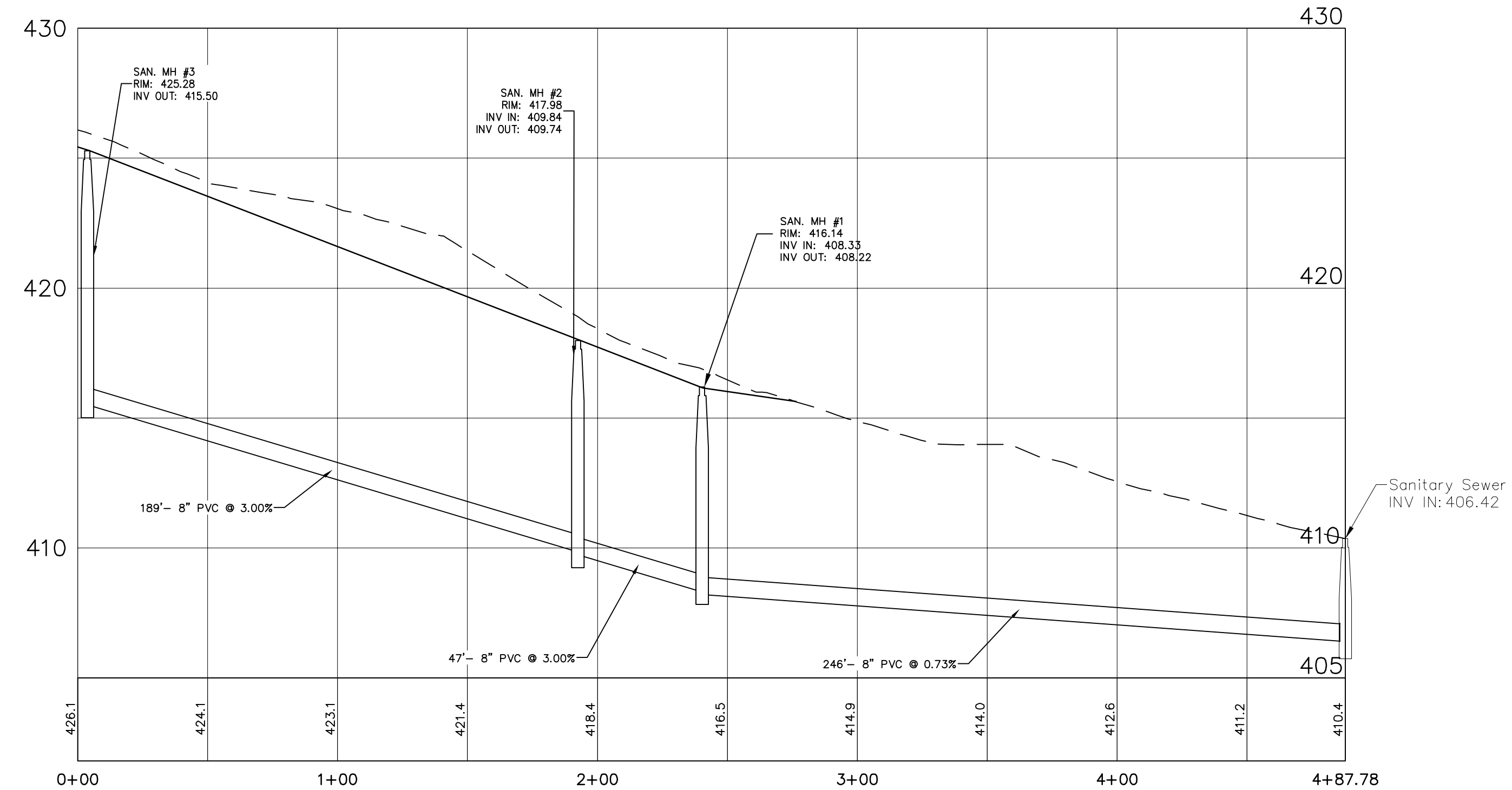
Consulting Civil Engineering
 Bridge Design
 Highway Design
 Construction Inspection
 Geotechnical Engineering
 Water / Wastewater
 Municipal Engineering
 Land Surveying
 Professional Planning
 Landscape Architecture
 NJ LLC CERT. No. 24GA28132300

BY: *Michael K. Ford*
Michael K. Ford
New Jersey Professional Engineer
No. 34722

ROAD PROFILE
FOR
BLOCK 653 LOTS 36 & 37
SITUATED IN
BRIDGEWATER TOWNSHIP,
SOMERSET COUNTY, NEW JERSEY



PROPOSED STORM PROFILE



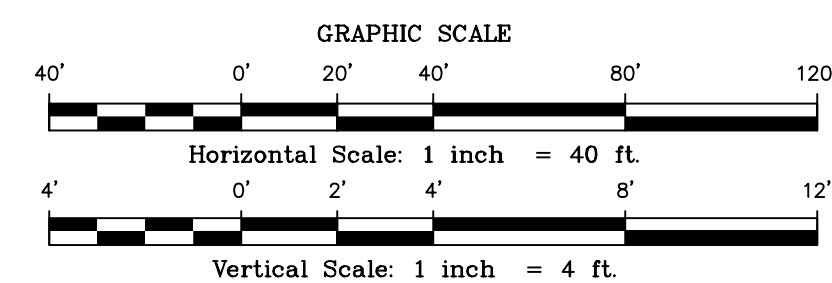
PROPOSED SANITARY PROFILE

NOTES:

1. STORM PIPES SHALL BE HIGH-DENSITY POLYETHYLENE (H.D.P.E.) WITHIN GRASS AREAS AND REINFORCED CONCRETE (R.C.P.) WITHIN THE ROAD RIGHT-OF-WAY UNLESS SPECIFICALLY NOTED OTHERWISE.
2. ALL STORM DRAINAGE INLETS AT CURBED LOCATIONS SHALL BE TYPE "B" AND TYPE "E" IN LAWN AREA UNLESS SPECIFICALLY NOTED OTHERWISE.
3. CURB UNDERDRAINS AND/OR STORM SEWER PIPE BEDDING DRAINS SHALL BE INSTALLED IF AND WHERE DEEMED NECESSARY BY THE TOWNSHIP ENGINEER AT THE TIME OF CONSTRUCTION.
4. ALL PROPOSED WATER MAINS SHALL BE MIN. 8" DIA CLASS 52 CEMENT-LINED D.I.P. UNLESS NOTED OTHERWISE.

SANITARY SEWER NOTES

1. SEE CONSTRUCTION DETAILS SHEET AND PROJECT SPECIFICATION IN ENGINEERS REPORT FOR ADDITIONAL INFORMATION.
2. ALL PROPOSED GRAVITY LATERALS SHALL BE 4 (FOUR) INCHES IN DIAMETER, WITH A MINIMUM SLOPE OF 2% (1/4 INCH PER FOOT).
3. CLEANOUTS FOR GRAVITY LATERALS SHALL BE INSTALLED BEHIND THE CURB OR EDGE OF PAVEMENT WHERE NO CURB IS PROPOSED.
4. TEST PITS MUST BE PERFORMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION, AT THE CROSSINGS OF THE EXISTING WATER MAIN WITH THE PROPOSED SEWER LATERALS TO INSURE ADEQUATE CLEARANCE.
5. FOR GRAVITY SEWER LATERALS NO FIXTURES BELOW CENTERLINE GRADE OF THE STREET WILL BE PERMITTED.
6. CONNECTION OF THE NEW SANITARY LINE INTO THE EXISTING SANITARY MANHOLE SHALL BE CORE-DRILLED.
7. PIPE DAMS SHALL BE INSTALLED A MAXIMUM OF 300 FEET APART, WITH AT LEAST ONE PIPE DAM IN BETWEEN STRUCTURES (SEE DETAIL).
8. DUCTILE IRON PIPE SHALL HAVE A HYDROGEN SULFIDE/ CORROSION RESISTANT INTERIOR LINING SUITABLE FOR SANITARY SEWER APPLICATIONS. STANDARD CEMENT LINED DUCTILE IRON PIPE WILL NOT BE PERMITTED.
9. AN APPROPRIATE TRANSITION COUPLING SHALL BE PROVIDED TO FACILITATE CHANGE IN PIPE MATERIALS FROM D.I.P. TO PVC.
10. ALL PROPOSED SANITARY SEWER LATERAL RISERS (CLEANOUTS) IN R.O.W. SHALL BE PROTECTED WITH CAST IRON RISER COVER, SEE DETAIL SHEET 14.
11. ALL CONSTRUCTION SHALL COMPLY WITH A CURRENT RULES AND REGULATIONS OF THE BRIDGEWATER TOWNSHIP SEWAGE AUTHORITY.
12. ALL LOTS WITH BASEMENTS SHALL HAVE A LATERAL CHECK VALVE INSTALLED UPSTREAM OF THE SANITARY SEWER CLEANOUT. SEE LATERAL CHECK VALVE DETAIL ON DETAILS SHEET.
13. SANITARY SEWER SHALL BE INSTALLED 10 FEET HORIZONTALLY AND 18 INCHES VERTICALLY AWAY FROM POTABLE WATER.
14. BRIDGEWATER TOWNSHIP SEWAGE AUTHORITY IS NOT RESPONSIBLE FOR THE OWNERSHIP AND MAINTENANCE OF THE SEWER SYSTEM ON THE APPLICANT'S PROPERTY.



DATE:	SEPTEMBER 10, 2018
SCALE:	SEE PLAN
DESIGNED BY:	W.C.T.
DRAWN BY:	A.B.
CHECKED BY:	W.C.T.
JOB No.	5902

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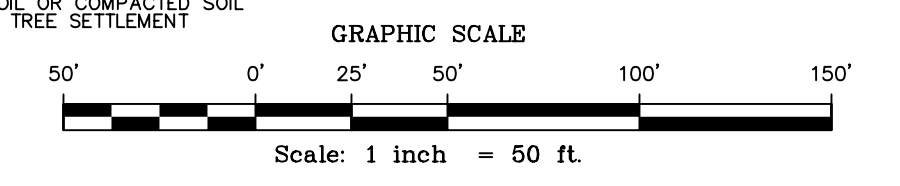
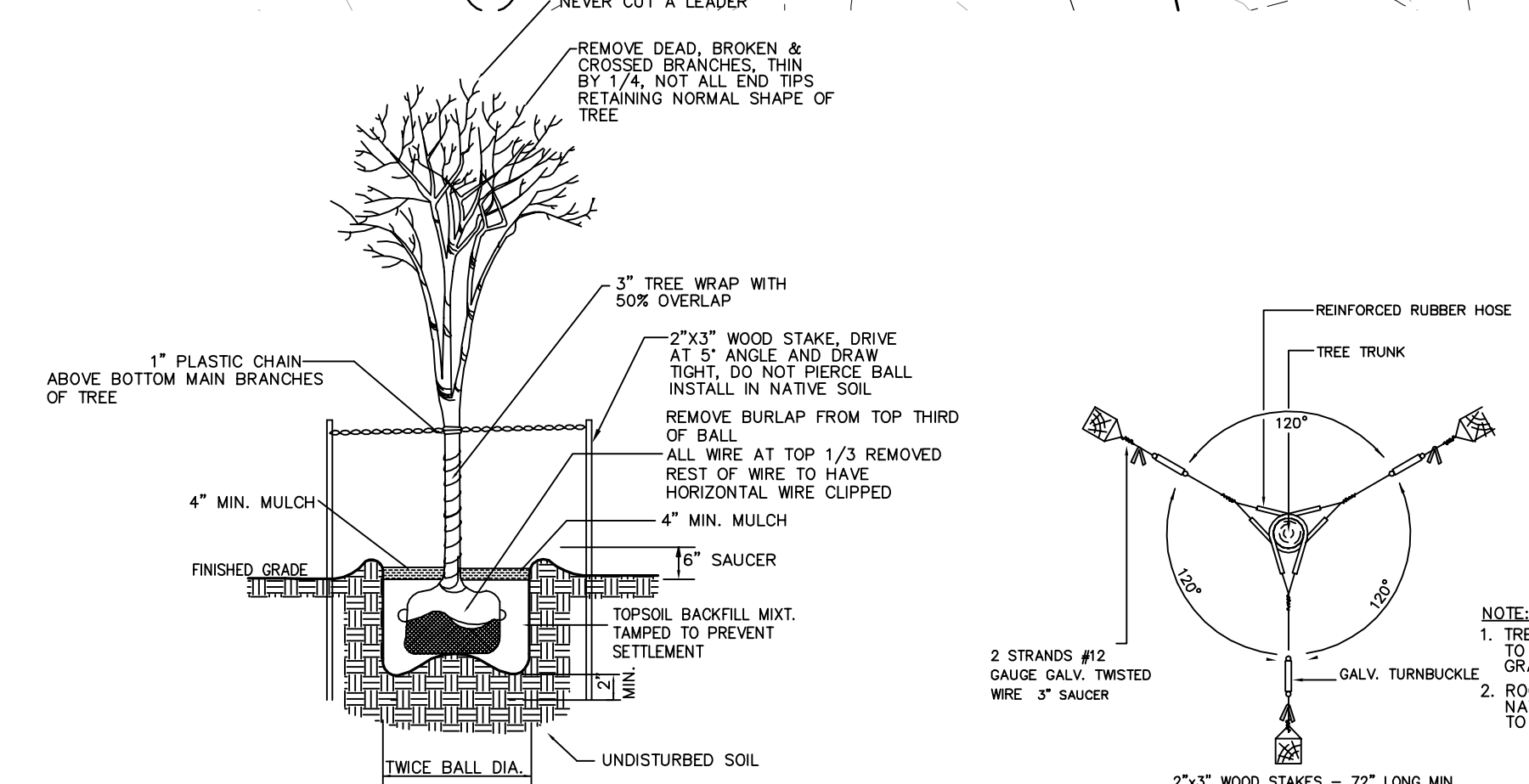
PROFILES - STORM & SANITARY
FOR
BLOCK 653 LOTS 36 & 37
SITUATED IN
BRIDGEWATER TOWNSHIP,
SOMERSET COUNTY, NEW JERSEY



- GENERAL NOTES**
- PRIOR TO START OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, SIZE AND DIMENSION OF ALL UNDERGROUND UTILITIES. VAN CLEEF ENGINEERING ASSOCIATES, L.L.C. ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF BURIED UTILITIES SHOWN NOR LACK THEREOF. THE CONTRACTOR SHALL CONTACT THE UTILITY MARK OUT SERVICE BY CALLING 1-800-272-1000 PRIOR TO THE START OF THE CONSTRUCTION.
 - ANY DISCREPANCIES IN REFERENCED COORDINATES, ELEVATIONS, EXISTING DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.
 - ALL DEBRIS CONCRETE CHUNKS, TREE STUMPS, AND OTHER UNSUITABLE MATERIAL RESULTING FROM THE SITE GRADING AND EXISTING STRUCTURAL DEMOLITION SHALL BE DISPOSED OF AT AN APPROVED DISPOSAL LOCATION. NO UNSUITABLE MATERIALS SHALL BE PERMITTED TO BE BURIED ON SITE.
 - ALL IMPROVEMENTS SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THE MOST RECENT CONSTRUCTION STANDARDS OF THE TOWNSHIP OF BRIDGEWATER.
 - IN INSTANCES WHERE THE TOWNSHIP SPECIFICATIONS PROVIDE NO DETAILED SPECIFICATION, THE MATERIALS AND METHODS OF CONSTRUCTION SHALL MEET AND CONFORM TO THE REQUIREMENTS OF "THE STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" FOR THE NEW JERSEY DEPARTMENT OF TRANSPORTATION.
 - ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND.
 - THE PROPOSED CATCH BASIN CURB PIECES SHALL BE CONSISTENT WITH THE NEW STORMWATER MANAGEMENT RULES.
 - ALL CONSTRUCTION TO BE PER NJDOT STANDARD SPECIFICATIONS, LATEST VERSION.
 - ALL TRAFFIC SIGNS SHALL MEET THE STANDARDS SET FORTH IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - UNDERDRAINS WILL BE INSTALLED BENEATH THE STABILIZED BASE COURSE WHERE THE SITE CONDITIONS WARRANT THEM AS DIRECTED BY THE TOWNSHIP ENGINEER/P.
 - THE PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA.
 - STREET TREES PLANTED ON THE PROPERTY SHALL BE PLANTED AT LEAST THREE(3) FEET INSIDE THE PROPERTY LINE, BUT NOT IN ANY DRAINAGE AREAS OR ELECTRICAL BOX AREAS.
 - DRAINAGE EASEMENTS AND ALL WATERCOURSE AREAS SHALL BE CLEANED OF DEBRIS AND FALLEN LIMBS PRIOR TO ANY LAND DISTURBANCE FOR THE REVIEW AND APPROVAL OF THE TOWNSHIP PLANNER.
 - TREES TO BE SAVED SHALL BE MARKED PRIOR TO ANY LAND DISTURBANCE FOR THE REVIEW AND APPROVAL OF THE TOWNSHIP PLANNER.
 - THE POSITIONING OF PROPOSED TREES SHALL AVOID TELEPHONE, ELECTRIC, GAS LINES.
 - THE GENERAL CONTRACTOR SHALL COMPLY WITH ALL SECTIONS OF CHAPTER 14 OF THE 2006 IFC NJ EDITION WHICH INCLUDES A FIRE PREVENTION PROGRAM SUPERINTENDENT.
 - BEFORE AND DURING CONSTRUCTION/DEMOLITION, WHERE FIRE PREVENTION SYSTEMS NEED TO BE DISABLED OR TAKEN OUT OF SERVICE TO ADD OR CHANGE A SYSTEM OR TO AVOID FALSE ALARMS, THE FIRE OFFICIALS SHALL BE NOTIFIED AND THE SHUTDOWN PROCEDURES SHALL BE FOLLOWED.
 - EXISTING PUBLIC SEWER AND WATER TO BE MAINTAINED FOR PROJECT.
 - PROPOSED BUILDING DIMENSIONS TO BE VERIFIED WITH ARCHITECT PRIOR TO CONSTRUCTION.
 - THESE ARE TO BE NO FIELD CHANGES MADE UNLESS APPROVED BY THE DESIGN ENGINEER AND SUBSEQUENTLY BY THE TOWNSHIP ENGINEER.
 - EXISTING TREES ON-SITE SHALL BE PROTECTED WITH TREE PROTECTION FENCING AS NECESSARY.
 - IN BUFFER AREAS ALL TREES AND ALL UNDERSTORY VEGETATION WILL REMAIN.

- NOTES:**
- REPLACEMENT TREES ARE TO BE INSTALLED AS FOLLOWS BEFORE A CO IS ISSUED TO THE AFFECTED LOT. THESE ARE REPLACEMENT TREES, WHICH ARE IN ADDITION TO THE REQUIRED STREET TREES.
 - LOT 10 SHOULD INSTALL 8 REPLACEMENT TREES AT THE TIME A CO IS REQUESTED.
 - LOT 11 SHOULD INSTALL 8 REPLACEMENT TREES AT THE TIME A CO IS REQUESTED.
 - LOT 12 SHOULD INSTALL 5 REPLACEMENT TREES AT THE TIME A CO IS REQUESTED.
 - LOT 13 SHOULD INSTALL 13 REPLACEMENT TREES AT THE TIME A CO IS REQUESTED.
 - LOT 14 SHOULD INSTALL 0 REPLACEMENT TREES AT THE TIME A CO IS REQUESTED.
 - LOT 15 SHOULD INSTALL 0 REPLACEMENT TREES AT THE TIME A CO IS REQUESTED.
 - LOT 16 SHOULD INSTALL 12 REPLACEMENT TREES AT THE TIME A CO IS REQUESTED.
 - LOT 17 (OPEN SPACE) SHOULD RECEIVE THE TREES REMOVED FROM THE RIGHT OF WAY AS WELL AS THE TREES WITHIN THE LOT THAT ARE PROPOSED TO BE REMOVED. THERE SHOULD BE 8 TREES INSTALLED ON THIS LOT BEFORE 75% OF THE DWELLINGS HAVE BEEN SOLD (5 DWELLINGS), WHICH IS THE TIME WHEN THE RIGHTS OF THE HOMEOWNERS' ASSOCIATION KICK IN.
 - THE MAINTENANCE TIMEFRAME FOR THE PLANTINGS, INCLUDING STREET TREES, IS 2 YEARS.

- (299) Existing Tree to Remain
- (X) Existing Tree to be Removed (Includes (1) Dead Tree)
- (7) White Oak (Quercus Alba) 2-1/2" Min. Caliper
- (11) Red Maple (Acer Rubrum) 2-1/2" Min. Caliper
- (9) Sycamore (Platanus Occidentalis) 2-1/2" Min. Caliper
- (55) Replacement Trees



DATE: SEPTEMBER 10, 2018	DESIGNED BY: W.C.T.
SCALE: 1" = 50'	DRAWN BY: A.B.
PER JUNE 5, 2020 COMPLETENESS REVIEW M.K.F. 6-8-20	CHECKED BY: W.C.T.
REVISED PER NJDEP APPROVAL M.K.F. 5-28-20	JOB No. 5902
REVISED CONSERVATION EASEMENT M.K.F. 11-15-19	
REVISED SITE LAYOUT M.K.F. 12-7-18	
PER TOWNSHIP REVISIONS W.C.T. 10-24-18	
AUTH. DATE	

BY: *Michael K. Ford*
Michael K. Ford
New Jersey Professional Engineer
No. 34722

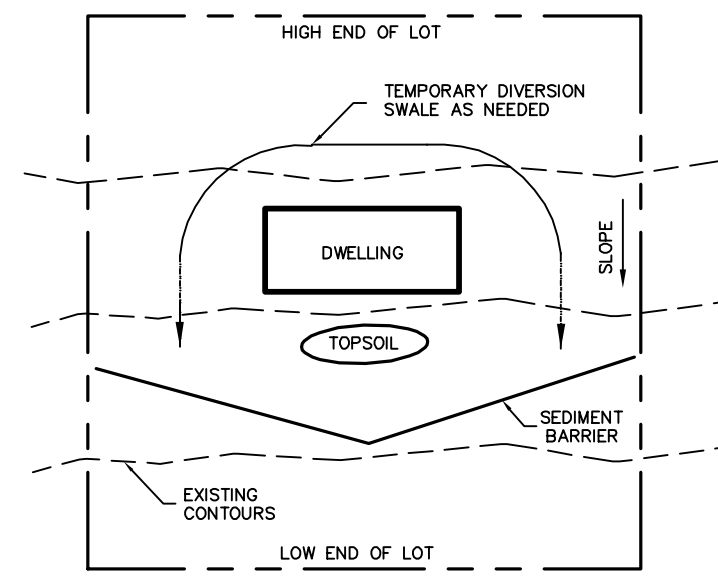
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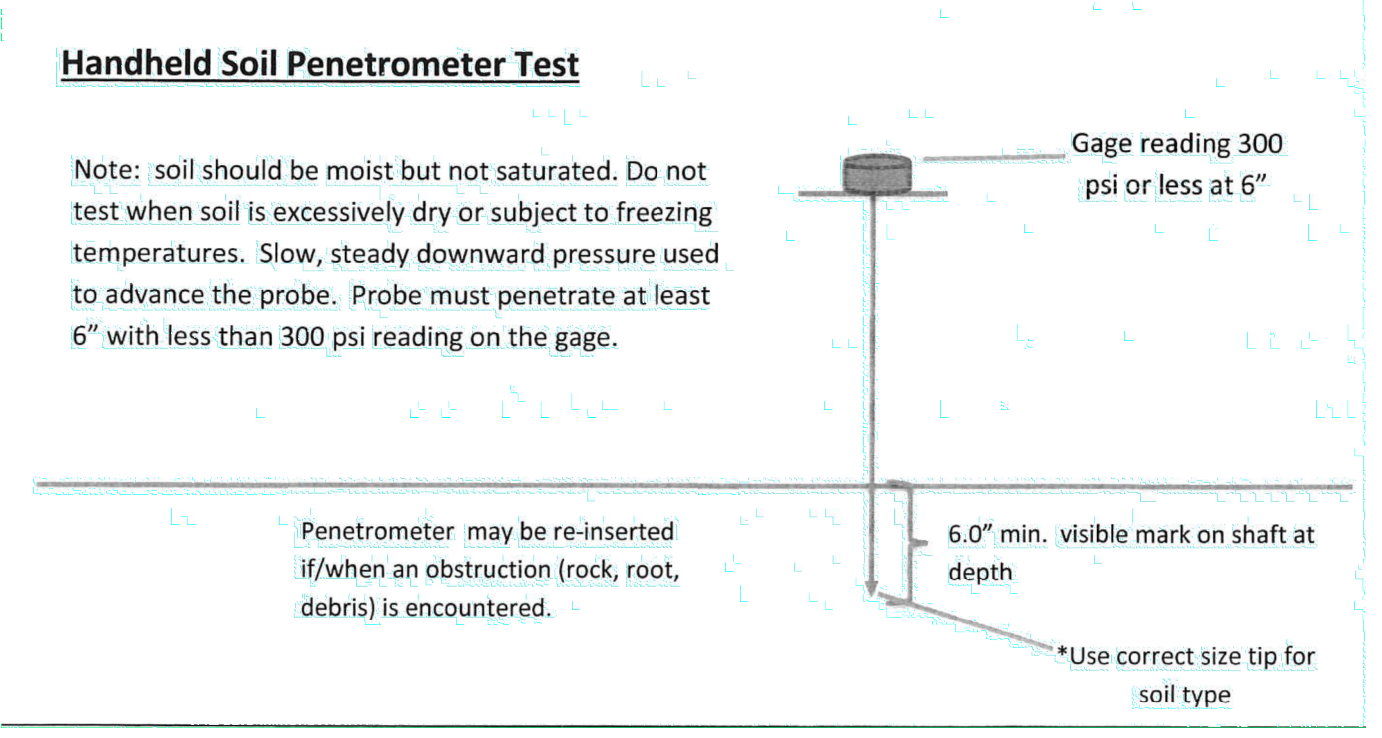
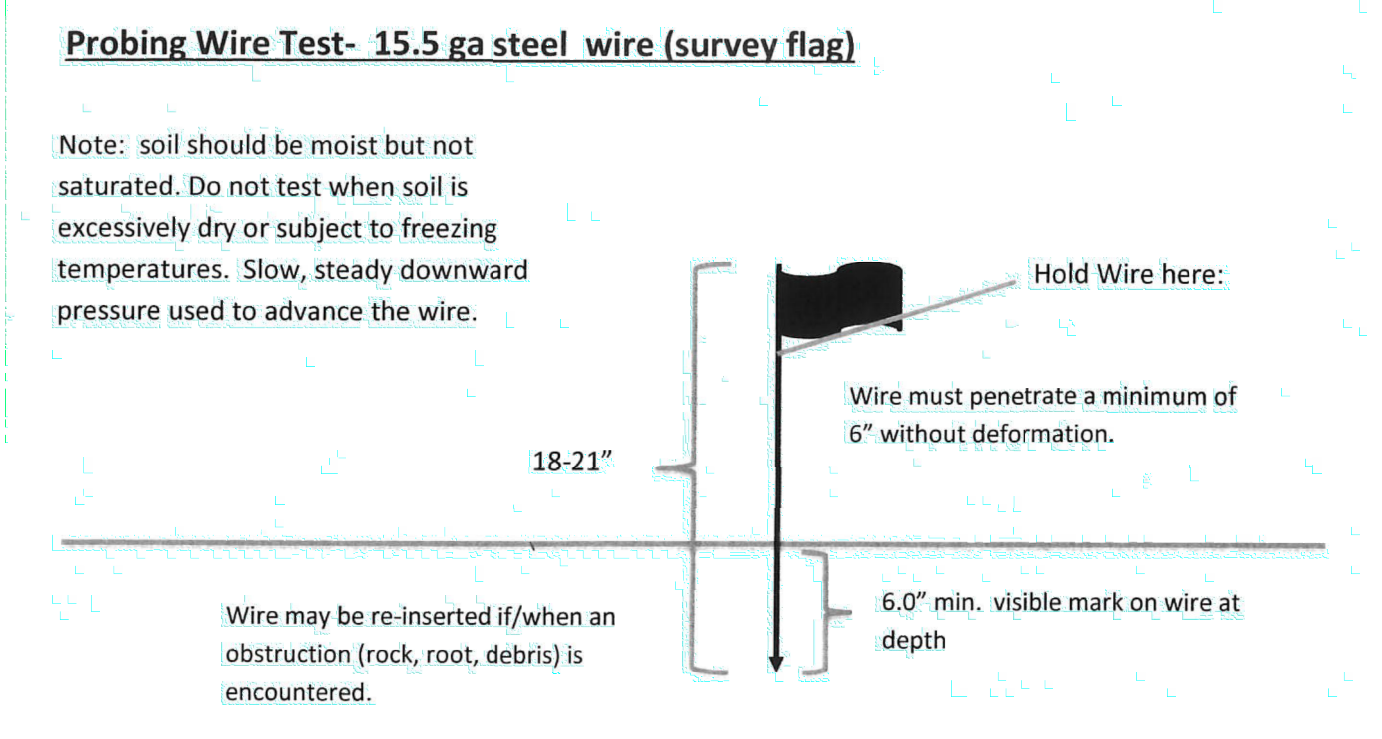
Consulting Civil Engineering
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Highway Design
Construction Inspection
Geotechnical Engineering
Water / Wastewater
Municipal Engineering
Land Surveying
Professional Planning
Landscape Architecture
NJ LLC CERT. No. 24GA28132300

LANDSCAPE PLAN
FOR
BLOCK 653 LOTS 36 & 37
SITUATED IN
**BRIDGEWATER TOWNSHIP,
SOMERSET COUNTY, NEW JERSEY**



SOIL EROSION + SEDIMENTATION CONTROL FOR INDIVIDUAL LOTS
NOT TO SCALE

- NOTES:**
1. Rough grade the area for the driveway (to serve as stabilized construction entrance)
 2. Construct stabilized construction entrance consisting of crushed stone - ASTM C-33, Size No. 3, 4" deep. Minimum 50' long.
 3. Strip topsoil in the immediate area required for building construction and stockpile storage.
 4. Rough grade the immediate area required for building construction. Minimize disturbance of existing vegetative cover of the balance of the lot during the building construction period to prevent soil erosion and to serve as a natural sediment barrier.
 5. Install hay bale sediment barriers for conditions where the existing ground cover will not serve as a natural sediment filter or where the rough grading of the entire lot is desirable during early stages of building construction.
 6. When building construction is nearing completion, rough and final grade the balance of the lot, preserving as many existing trees as possible.
 7. Topsoil, seed and mulch all disturbed areas immediately following final grading.



Soil De-compaction and Testing Requirements

Soil Compaction Testing Requirements

1. Subgrade soils **prior to the application of topsoil** (see permanent seeding and stabilization notes for topsoil requirements) shall be free of excessive compaction to a depth of 6.0 inches to enhance the establishment of permanent vegetative cover.
2. Areas of the site which are subject to compaction testing and/or mitigation are **graphically denoted** on the certified soil erosion control plan.
3. **Compaction testing locations** are denoted on the plan. A copy of the plan or portion of the plan shall be used to mark locations of tests, and attached to the compaction remediation form, available from the local soil conservation district. This form must be filled out and submitted prior to receiving a certificate of compliance from the district.
4. In the event that testing indicates compaction in excess of the maximum thresholds indicated for the simplified testing methods (see details below), the contractor/owner shall have the option to perform either (1) compaction mitigation over the entire mitigation area denoted on the plan (excluding exempt areas), or (2) perform additional, more detailed testing to establish the limits of excessive compaction whereupon only the excessively compacted areas would require compaction mitigation. Additional detailed testing shall be performed by a trained, licensed professional.

Compaction Testing Methods

- A. Probing Wire Test (see detail)
- B. Hand-held Penetrometer Test (see detail)
- C. Tube Bulk Density Test (licensed professional engineer required)
- D. Nuclear Density Test (licensed professional engineer required)

Note: Additional testing methods which conform to ASTM standards and specifications, and which produce a dry weight, soil bulk density measurement may be allowed subject to District approval.

Soil compaction testing is not required if/when subsoil compaction remediation (scarification/tillage (6" minimum depth) or similar) is proposed as part of the sequence of construction.

Procedures for Soil Compaction Mitigation

Procedures shall be used to mitigate excessive soil compaction **prior to placement of topsoil** and establishment of permanent vegetative cover.

Restoration of compacted soils shall be through deep scarification/tillage (6" minimum depth) where there is no danger to underground utilities (cables, irrigation systems, etc.). In the alternative, another method as specified by a New Jersey Licensed Professional Engineer maybe substituted subject to District Approval.

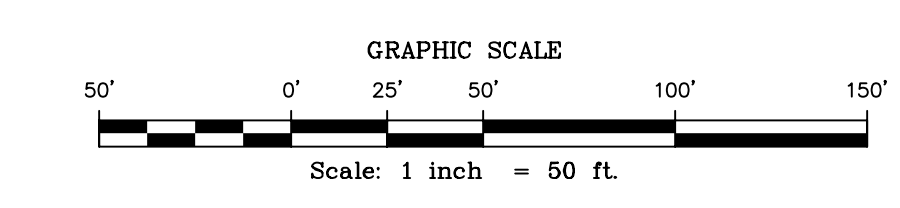
LEGEND:

- | | | | | |
|--|--|-------------------------|--|-----------------------------|
| | | EXISTING CONTOUR | | SILT FENCE |
| | | SPOT ELEVATION | | LIMIT OF DISTURBANCE |
| | | DRAINAGE FLOW DIRECTION | | SPOT GRADE |
| | | TREE/WOOD LIMIT LINE | | TOP OF CURB ELEVATION |
| | | INLET | | BOTTOM OF CURB ELEVATION |
| | | MANHOLE | | TOP OF CASTING ELEVATION |
| | | HEADWALL | | TOP OF GRATE ELEVATION |
| | | EDGE OF PAVEMENT | | FIRST FLOOR ELEVATION |
| | | STORM SEWER | | DEPRESSED CURB |
| | | UTILITY POLE | | TEMPORARY TOPSOIL STOCKPILE |
| | | TRAFFIC SIGN | | INLET WITH SEDIMENT TRAP |
| | | HYDRANT | | |

NOTES:

THIS PLAN TO BE USED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY. SEE SHEET 10 FOR SOIL EROSION DETAILS AND NOTES.

TOTAL LIMIT OF DISTURBANCE = 214,683 SF (4.928 AC.)



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Consulting Civil Engineering
Bridge Design
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NJ LLC CERT. No. 24GA28132300

SOIL EROSION CONTROL PLAN
FOR
BLOCK 653 LOTS 36 & 37
SITUATED IN
BRIDGEWATER TOWNSHIP,
SOMERSET COUNTY, NEW JERSEY

GENERAL NOTES FOR SOIL EROSION AND SEDIMENT CONTROL PLANS

- ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES APPLICABLE TO THIS PROJECT SHALL BE IN ACCORDANCE WITH "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY" ADOPTED, REVISED JULY 1999, BY THE NEW JERSEY SOIL CONSERVATION COMMITTEE.
- THESE STANDARDS SHALL SPECIFICALLY APPLY TO ALL:
 - TEMPORARY AND PERMANENT REVEGETATION
 - LAND GRADING
 - DIVERSIONS
 - SEEDING
- ALL SEDIMENT AND EROSION CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- PERMANENT REVEGETATION FOR ALL EXPOSED AREAS SHALL COMMENCE TEN (10) DAYS AFTER FINAL GRADING OR IF AREAS ARE TO BE ROUGH OR STOCKPILES OF SOIL OR EXCEED THIRTY (30) DAYS, TEMPORARY REVEGETATION SHALL BE REQUIRED AND PROTECTION BY A BERM AT THE BASE OF THE PILE, IF NECESSARY. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
- ALL SEDIMENT FILTER CONTROL SHALL BE IN PLACE PRIOR TO GRADING OPERATIONS AND INSTALLATION OF UTILITIES.
- USE TOPSOIL TO CREATE DIVERSION BERMS RATHER THAN STOCKPILING.
- THE FILL MATERIAL SHALL BE TAKEN FROM THE SITE AND IT SHALL BE FREE OF WOODY VEGETATION, ROOTS, STONES OVER 6 INCHES OR OTHER OBJECTIONABLE MATERIAL. AREAS ON WHICH FILL IS TO BE PLACED SHALL BE SCARIFIED PRIOR TO PLACEMENT OF FILL. THE FILL MATERIAL SHALL CONTAIN SUFFICIENT MOISTURE FOR PROPER COMPACTION.
- ALL DISTURBED AREAS SHALL REMAIN IN ROUGH GRADED CONDITION AND TEMPORARILY SEEDED AND/OR MULCHED UNTIL PROPER WEATHER CONDITIONS EXIST FOR ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- PROTECTED INLETS ARE TO BE CLEANED OF EXCESSIVE SILT ACCUMULATION IF AND WHEN NECESSARY.
- A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS.
- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN CONSTRUCTION TRACKING FILTERS THROUGHOUT DURATION OF PROJECT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION AND MAINTENANCE OF SOIL EROSION FACILITIES DURING CONSTRUCTION.
- AFTER THE PROJECT HAS BEEN COMPLETED, THE GENERAL CONTRACTOR SHALL HAVE THE RESPONSIBILITY FOR INSURING THAT ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES ARE IN PROPER WORKING ORDER AND THAT ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN REMOVED OR REPLACED BY PERMANENT CONTROLS.
- ALL DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTIVE TRAFFIC WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHING OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE STATE STANDARDS.
- SOIL EROSION AND SEDIMENT CONTROL SHALL INCLUDE, BUT NOT BE LIMITED TO, THE ABOVE MEASURES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO CORRECT ANY OMISSIONS, ERRORS OR SUBSEQUENT FIELD OPERATIONS WHICH MIGHT DEVIATE FROM THE INTENT OF THIS LAW. THE GENERAL CONTRACTOR SHALL CORRECT SAID OMISSIONS, ERRORS OR FIELD OPERATIONS IMMEDIATELY AND IN ACCORDANCE WITH THE NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
- SEEDBED PREPARATION SHALL CONFORM TO THE "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY".
- A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT THE SUBBASE SHALL BE INSTALLED WITHIN 15 DAYS OF THE PRELIMINARY GRADING.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCES OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (IE STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE ACCORDING TO STATE STANDARDS.
- ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (IE SLOPES GREATER THAN 3:1).
- TRAFFIC CONTROL STANDARDS REQUIRE THE INSTALLATION OF A TRACKING PAD OF SIZE NO. 2 OR 3 STONE AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE (SEE DETAIL).
- IN ACCORDANCE WITH THE STANDARD FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING SULFIDES SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO SEEDBED PREPARATION.
- THE SOMERSET-UNION SOIL CONSERVATION DISTRICT, 308 MILLTOWN ROAD, BRIDGEWATER, NEW JERSEY, SHALL BE NOTIFIED IN WRITING 72 HOURS PRIOR TO CONSTRUCTION.
- AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER.

IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.

IN THAT N.J.S.A. 4:24 ET SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH 4 PERMANENT MEASURES, ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.

AGRONOMIC RECOMMENDATIONS

- SEED, FERTILIZE, LIME AND TOPSOIL (IF REQUIRED) ALL SCALPED AREAS IMMEDIATELY AFTER FINISHED GRADING IS COMPLETED. LIME AND FERTILIZER RECOMMENDATIONS ARE AS FOLLOWS OR ACCORDING TO RESULTS OF SOIL TESTS:
- FERTILIZER TO BE APPLIED AT THE RATE OF 500 LBS. PER ACRE, 10-20-10.
 - TEMPORARY SEEDING:
 - LIME: 2 TONS PER ACRE GROUND AREA
 - FERTILIZER: 500 LBS. PER ACRE 10-20-10
 - SEED: USE THE FOLLOWING SEED MIXTURE(S) AND RATES BASED ON TIME OF YEAR:
 - EARLY SPRING/LATE SUMMER TO EARLY FALL: 100% PERENNIAL RYEGRASS, RATE = 100 LBS./ACRE
 - LATE FALL: 100% CEREAL RYE, RATE = 112 LBS./ACRE
 - MD-SUMMER: 40% PEARL MILLET, 40% WILLET (GERMAN OR HUNGARIAN), 20% WEEPING LOVEGRASS, RATE = 100 LBS./ACRE
 - PERMANENT SEEDING: (TO BE APPLIED DURING PERIODS OF 3/01 - 11/15, TEMPORARY SEEDING TO BE APPLIED ALL OTHER TIMES OF THE YEAR)
 - LIME: 2 TONS PER ACRE GROUND AREA
 - FERTILIZER: 500 LBS. PER ACRE 10-20-10
 - SEED: LAWNS - QUALITY SUN AND SHADE, 45% PERENNIAL RYEGRASS, 20% CHEWING FESCUE, 20% CREEPING RED FESCUE, 15% KENTUCKY BLUEGRASS (* INCLUDE AT LEAST TWO DIFFERENT VARIETIES IN MIX), RATE = 200 LBS./ACRE

MINIMUM STABILIZATION REQUIREMENTS

- GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION AND ANCHORING AND MAINTENANCE. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.

II. SEEDBED PREPARATION

- APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS THOSE OFFERED BY RUTGERS UNIVERSITY SOIL TESTING LABORATORY. SOIL SAMPLERS AVAILABLE FROM THE LOCAL COOPERATIVE EXTENSION SERVICE OFFICE. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITE OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. APPLY LIMESTONE AS FOLLOWS:

SOIL TEXTURE	TONS/ACRE	LBS./1,000 SQ. FT.
CLAY, CLAY LOAM AND HIGH ORGANIC SOIL	3	135
SANDY LOAM, LOAM, SILT LOAM	2	90
LOAMY SAND, SAND	1	45

 PULVERIZED DOLOMITIC LIMESTONE IS PREFERRED FOR MOST SOILS SOUTH OF THE NEW BRUNSWICK-TRENTON LINE.
- WORK LINE AND FERTILIZER INTO SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM, FINE SEEDBED IS PREPARED. ALL BUT CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.
- REMOVE FROM THE SURFACE ALL STONES 2 INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS OR OTHER UNSUITABLE MATERIAL.
- INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.

ACID SOIL CONDITIONS

SOILS HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE BEFORE SEEDBED PREPARATION. THE ADDED SOIL SHALL BE LIMED AS ABOVE.

III. SEEDING

- SEE AGRONOMIC RECOMMENDATIONS OR USE MIXTURE RECOMMENDED BY THE COOPERATIVE EXTENSION SERVICE OR SOIL CONSERVATION SERVICE WHICH IS APPROVED BY THE SOIL CONSERVATION DISTRICT.
- APPLY SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL, CULTIPACKER SEEDER OR HYDROSEEDER. THE LATTER MAY BE JUSTIFIABLE FOR LARGE, STEEP AREAS WHERE CONVENTIONAL VEHICLES CANNOT TRAVEL. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED, EXCEPT FOR DRILLED, HYDROSEEDER OR CULTIPACKED SEEDINGS. SEED SHALL BE INCORPORATED INTO THE SOIL, TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/2 INCH DEEPER ON COARSE TEXTURED SOIL.
- AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.

IV. MULCHING

- MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. (THE EXISTENCE OF SATISFACTORY PERMANENT VEGETATION AT THE TIME OF PROJECT OR UNIT COMPLETION SHALL BE DEEMED AS COMPLIANCE WITH THIS MULCHING REQUIREMENT).
- MULCH MATERIALS SHOULD BE UNROTTED SMALL GRAINS OF STRAW, HAY FREE OF SEEDS OR SALT HAY TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION MUST BE DOUBLE THE LOWER RATE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MATERIAL.
 - SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 75 PERCENT TO 95 PERCENT OF THE SOIL SURFACE WILL BE COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.
 - MULCH ANCHORING SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES AND COSTS.
 - PEG AND TWINE - DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
 - MULCH NETTINGS - STAPLE PAPER, JUTE, COTTON OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.
 - CRIMPER (MULCH ANCHORING TOOL) - A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC-HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL, SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.
 - APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS AND AT CRESTS OF BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.
 - USE OF THE FOLLOWING:
 - SYNTHETIC OR ORGANIC BINDERS - BINDERS SUCH AS CURASOL, DCA-70, PETRO-SET AND TERRA-TACK MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS.
 - LIQUID MULCH-BINDERS - MAYBE USED TO ANCHOR SALT HAY, HAY OR STRAW MULCHES.
 - APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS AND AT CRESTS OF BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.

NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

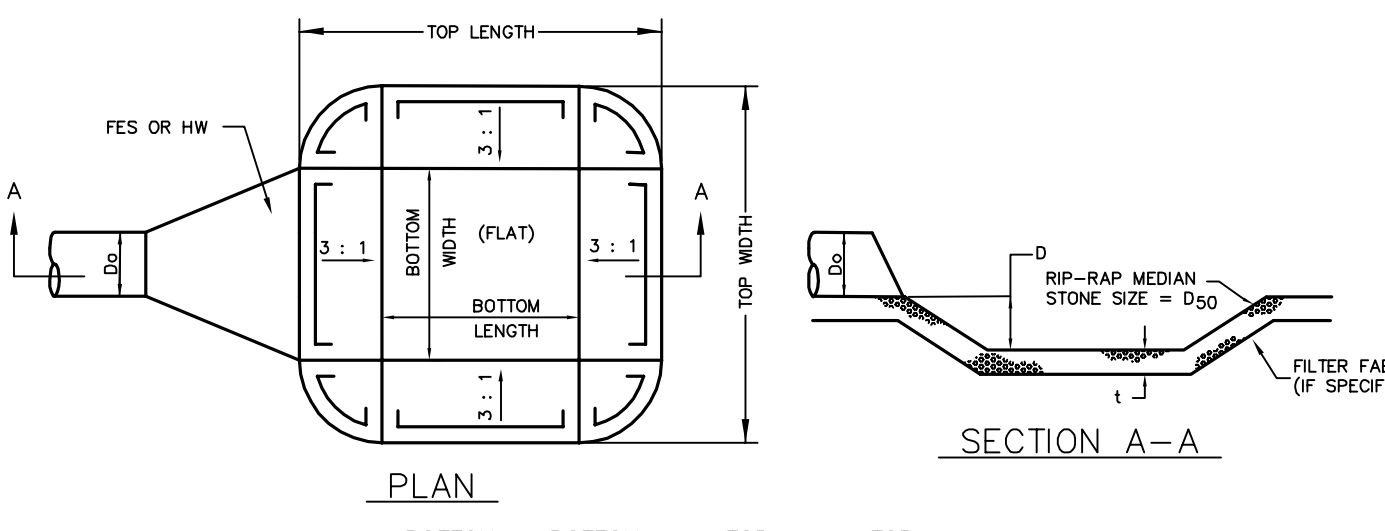
- WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE MAY BE APPLIED BY A HYDROSEEDER. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.

- V. IRRIGATION (WHERE FEASIBLE)
- IF SOIL MOISTURE IS DEFICIENT AND MULCH IS NOT USED, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER (A MINIMUM OF 1/4 INCH TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED). THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE IN ABNORMALLY DRY OR HOT WEATHER OR ON DROUGHTY SITES.
- VI. TOPDRESSING*
- SPRING SEEDINGS WILL REQUIRE AN APPLICATION OF FERTILIZER SUCH AS 10-10-10 OR EQUIVALENT AT 400 POUNDS PER ACRE OR 10 POUNDS PER 1,000 SQUARE FEET BETWEEN SEPTEMBER 1 AND OCTOBER 15.
 - FALL SEEDINGS WILL REQUIRE THE ABOVE BETWEEN MARCH 15 AND MAY 1.
 - MIXTURES DOMINATED BY WEEPING LOVEGRASS OR LEGUMES MAY NOT NEED TOPDRESSING.
 - BERMUDAGRASS SHOULD BE TOPDRESSED BEFORE AUGUST 15.
- *IF SLOW RELEASE NITROGEN (300 POUNDS 38-0-0 PER ACRE OR EQUIVALENT) IS USED IN ADDITION TO SUGGESTED FERTILIZER, THIS FOLLOW-UP OF TOPDRESSING IS NOT MANDATORY.

SEQUENCE OF CONSTRUCTION

- INSTALL ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON PLANS.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ON THE SOIL EROSION SEDIMENT CONTROL PLANS AND DETAILS.
- OBTAIN ALL NECESSARY PERMITS FROM BRIDGEWATER TOWNSHIP CODE OFFICIALS AND HEALTH DEPARTMENT TO DEMOLISH ALL BUILDINGS ON SITE.
- ROUGH GRADE SITE AND CONSTRUCT STORM DRAINAGE SYSTEM.
- CONSTRUCT ALL ONSITE UTILITIES. SOIL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED AS CONSTRUCTION PROGRESSES.
- CONSTRUCT STRUCTURE(S). SOIL EROSION SEDIMENT CONTROL DEVICES SHALL BE INSTALLED AS CONSTRUCTION PROGRESSES.
- FINE GRADE AND STABILIZE ALL DISTURBED AREAS IN ACCORDANCE WITH THE MINIMUM STABILIZATION REQUIREMENTS. NOTE: SOIL DECOMPACTION TESTING AND/OR MITIGATION SHALL BE PRIOR TO TOPDRESSING AND PERMANENT STABILIZATION; AND TEMPORARY STABILIZATION WILL BE REQUIRED ON CLEARED AREAS REMAIN INACTIVE 30 DAYS.
- CLEAN SITE AND REGRADE.
- STABILIZE ANY REMAINING DISTURBED AREAS.
- REMOVE ALL SOIL EROSION AND SEDIMENT CONTROL DEVICES.
- INSTALL F.A.B.C. TOP COURSE PAVING FOR DRIVEWAY.

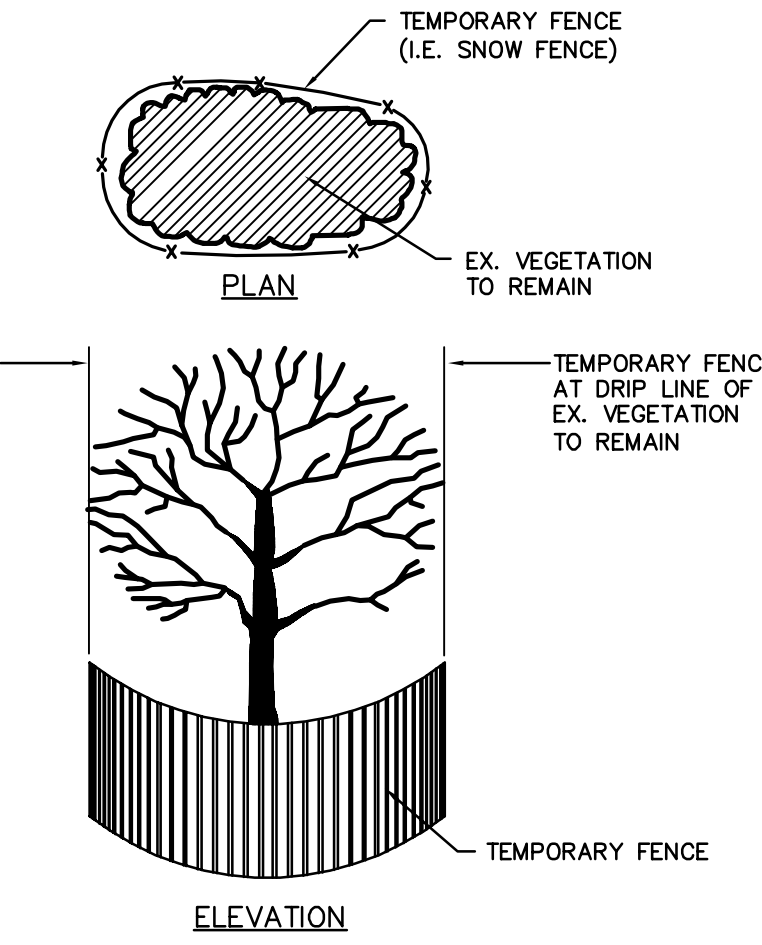
ESTIMATED DURATION OF PROJECT - 18 MONTHS



OUTLET HW #4	D ₅₀	D	BOTTOM LENGTH	BOTTOM WIDTH	TOP LENGTH	TOP WIDTH	D ₅₀	t	FILTER FABRIC
	2.0'	1.0'	6.0'	4.0'	12.0'	10.0'	3"	11"	YES

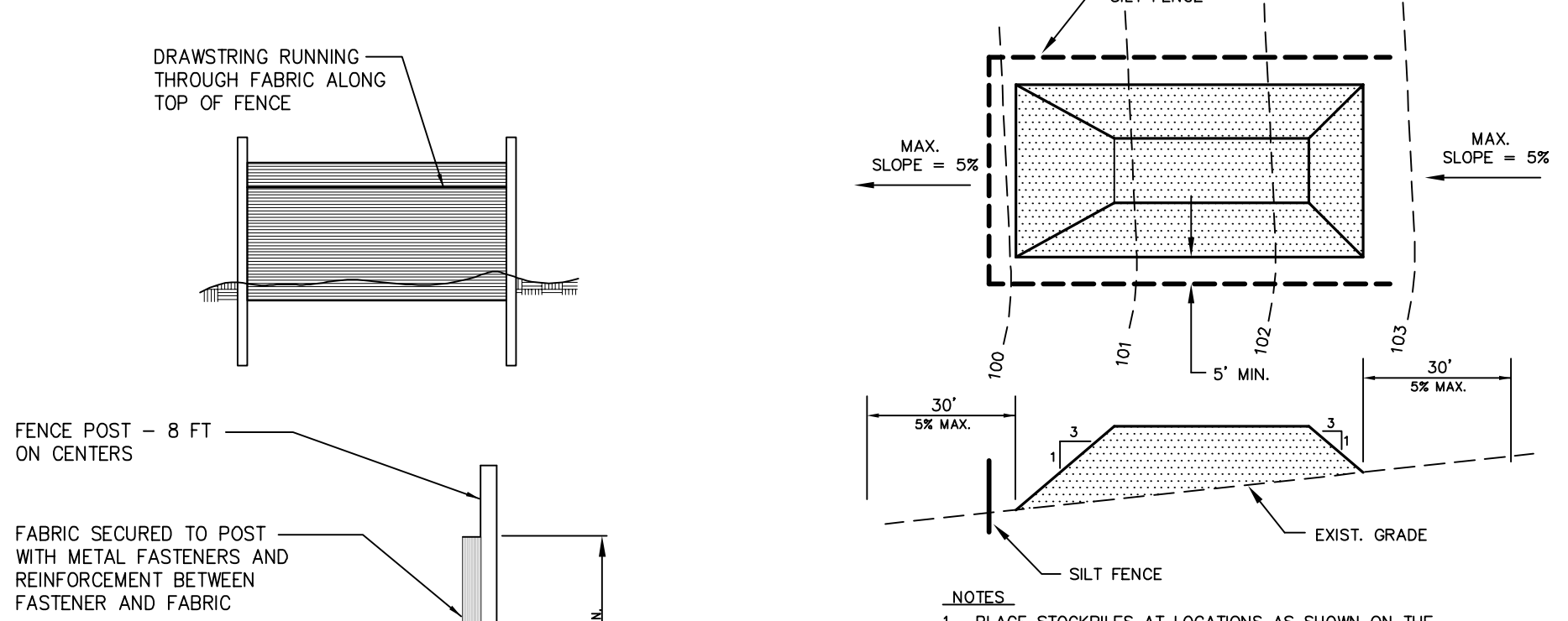
PREFORMED SCOUR HOLE AND SCHEDULE

NOT TO SCALE



TREE PROTECTION BARRIER DETAIL

N.T.S.



SILT FENCE CONSTRUCTION AND INSTALLATION DETAIL

NOT TO SCALE

TOPSOIL STOCKPILE

NOT TO SCALE

EMBEDDING DETAIL

NOT TO SCALE

PLACEMENT AND ANCHORING DETAIL

NOT TO SCALE

BALE SEDIMENT BARRIERS

NOT TO SCALE

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

INLET FILTER AFTER PAVING

NOT TO SCALE

PER JUNE 5, 2020 COMPLET. REVIEW	M.K.F	6/8/20	DATE: SEPTEMBER 10, 2018
REVISED SITE LAYOUT	M.K.F	12/7/18	SCALE: 1" = 50'
PER TOWNSHIP	W.C.T.	11/21/18	DESIGNED BY: W.C.T.
PER TOWNSHIP	W.C.T.	10/24/18	DRAWN BY: A.B.
REVISIONS	AUTH.	DATE	CHECKED BY: W.C.T.
			JOB No. 5902

Van Cleef
ENGINEERING ASSOCIATES, LLC

32 BROOKER LANE, PO BOX 877, HILLSBOROUGH, NJ 08844
EMAIL: CONTACTUS@VANCLEEFENGINEERING.COM
PHONE: (908) 359-6201 FAX: (908) 359-1080
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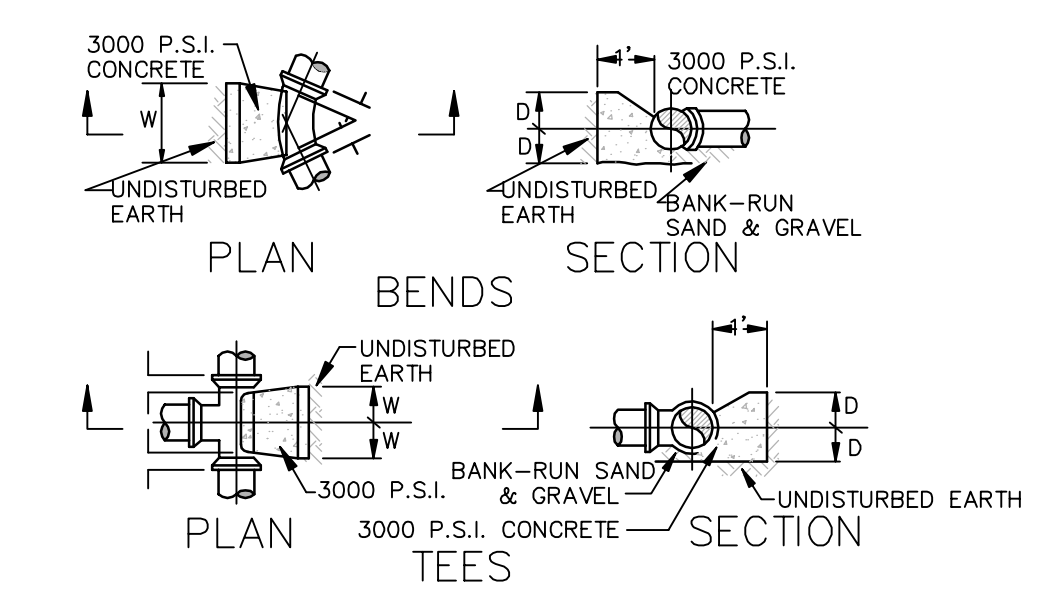
NJ LLC CERT. No. 24GA28132300

SOIL EROSION AND SEDIMENT CONTROL DETAILS

FOR
BLOCK 653 LOTS 36 & 37

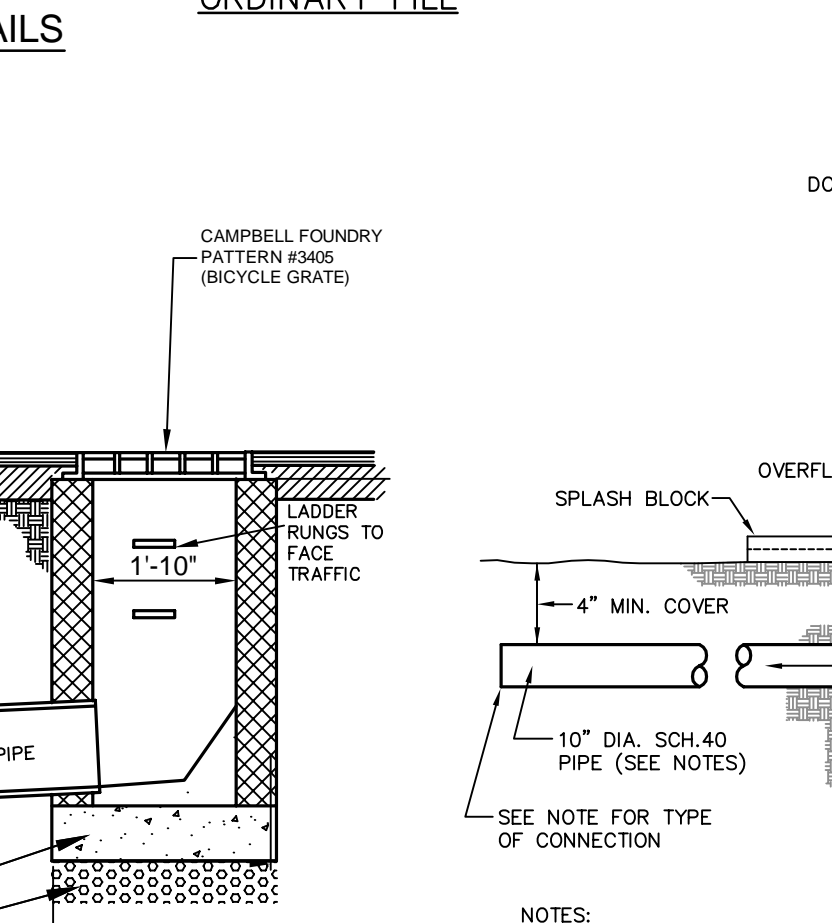
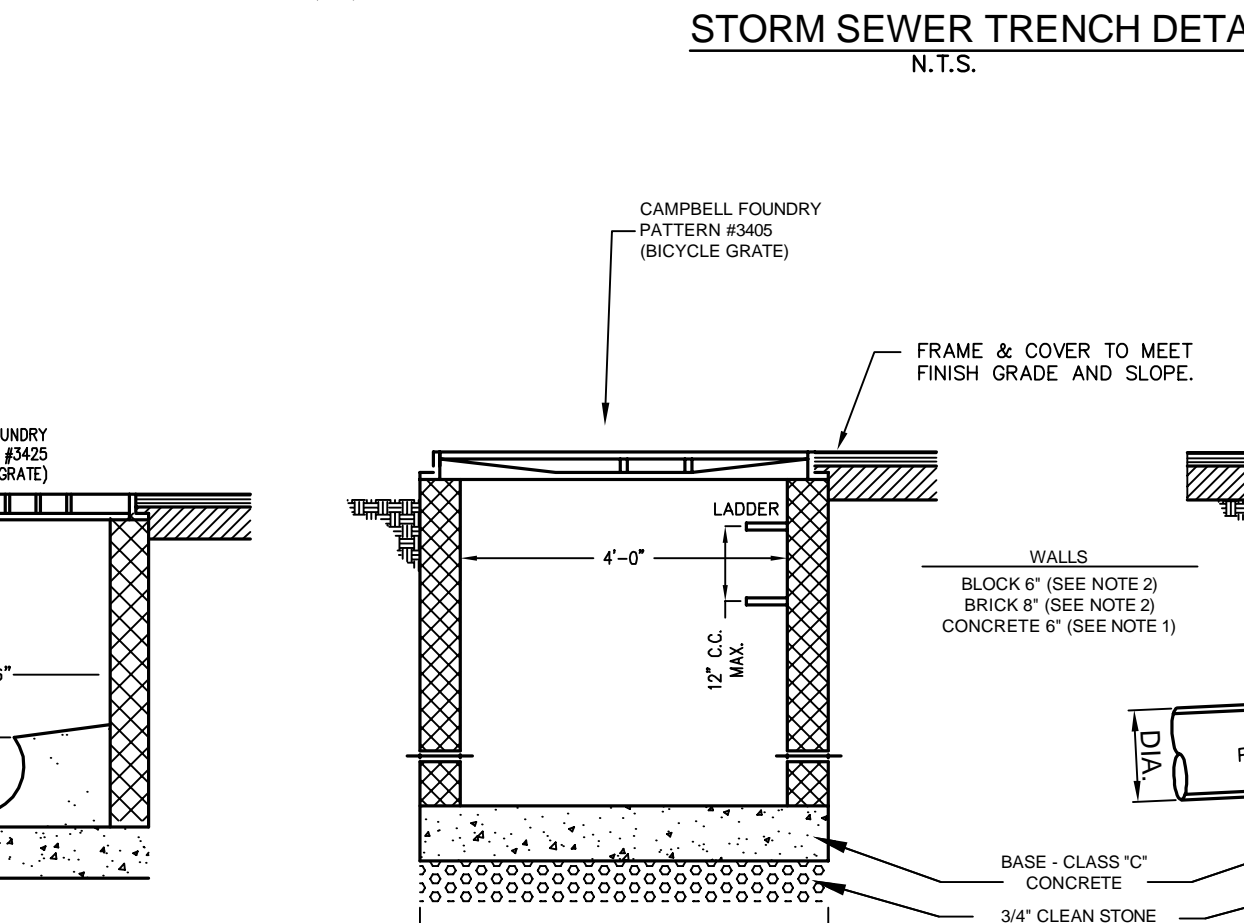
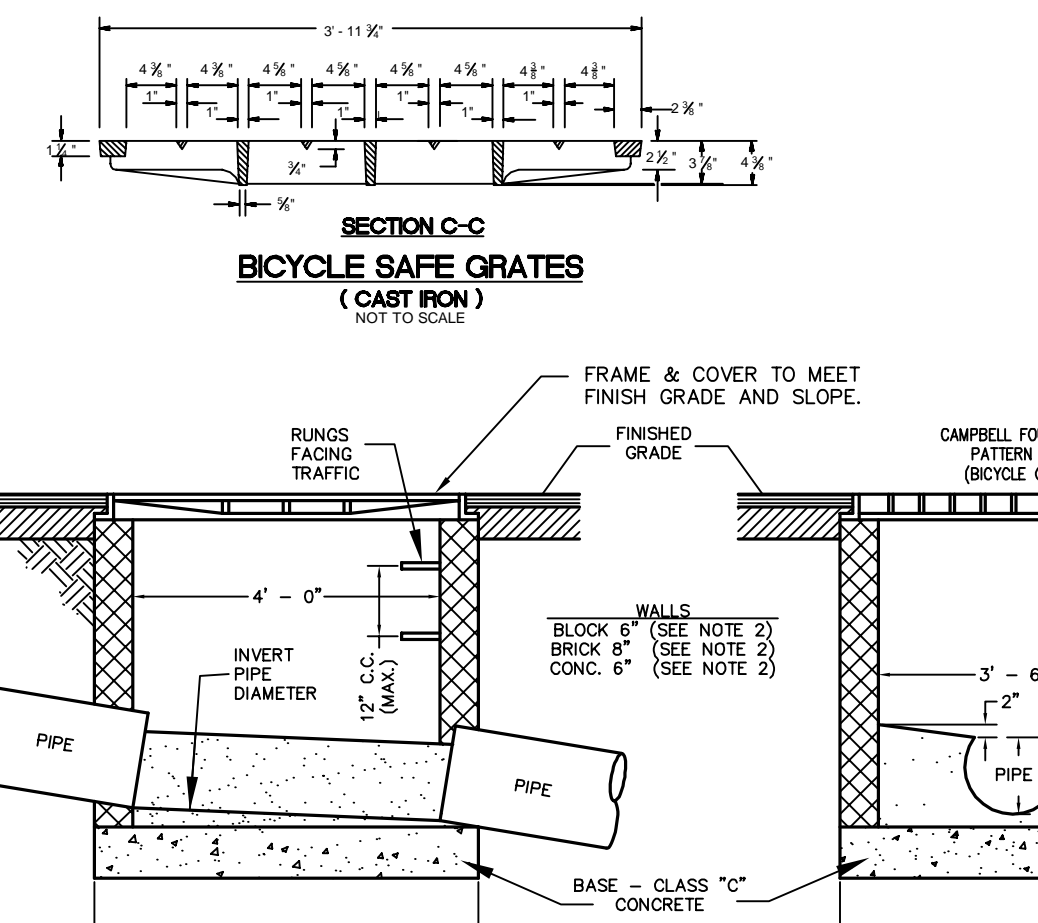
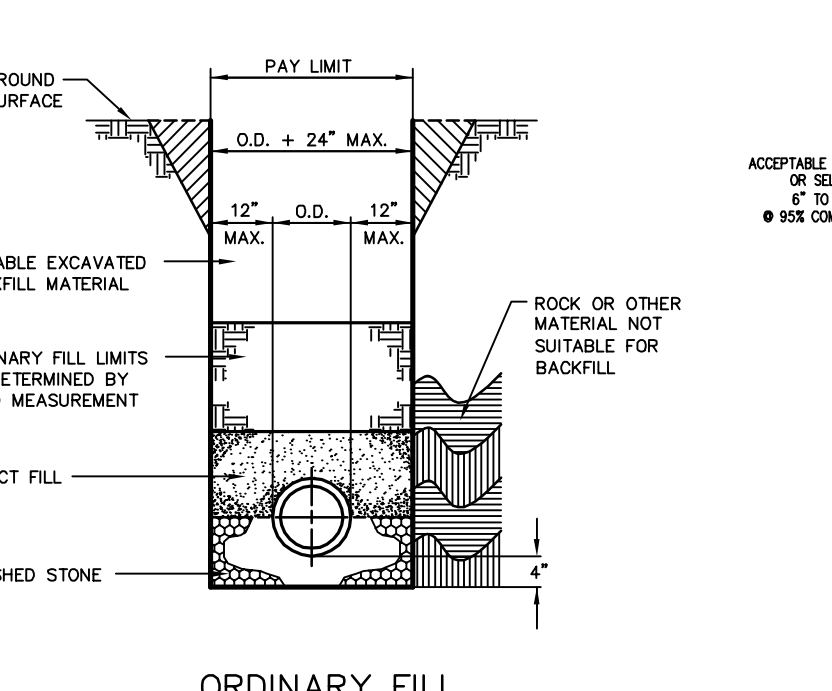
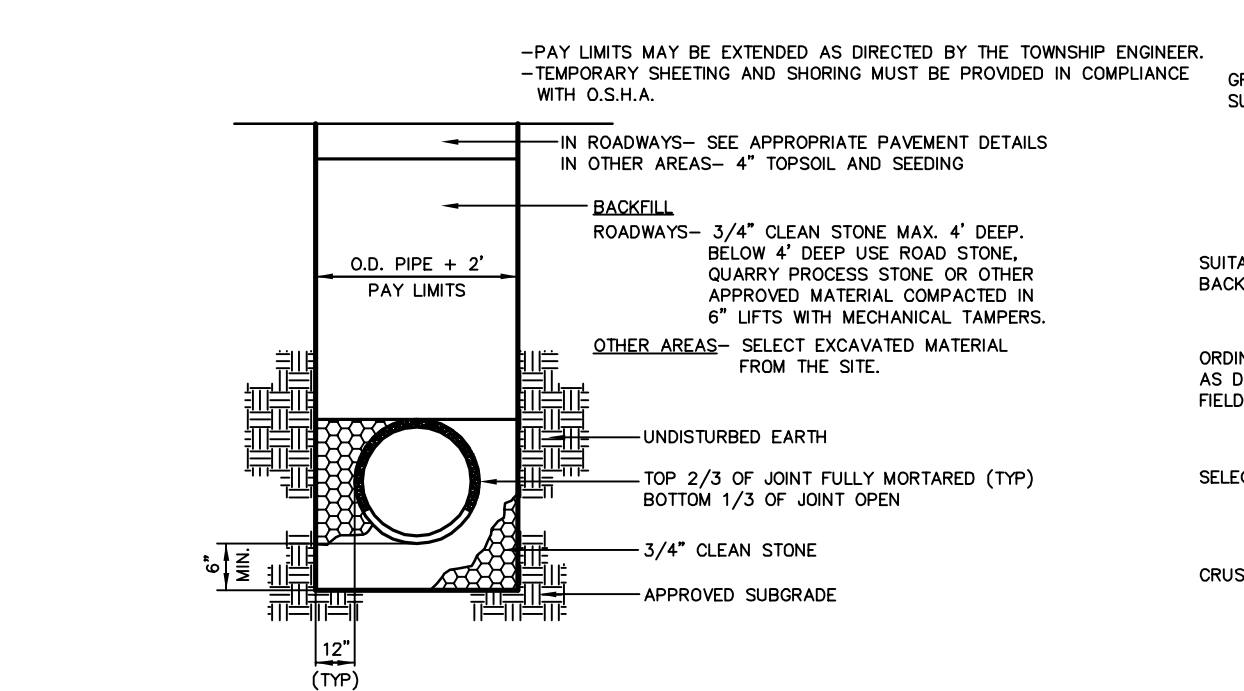
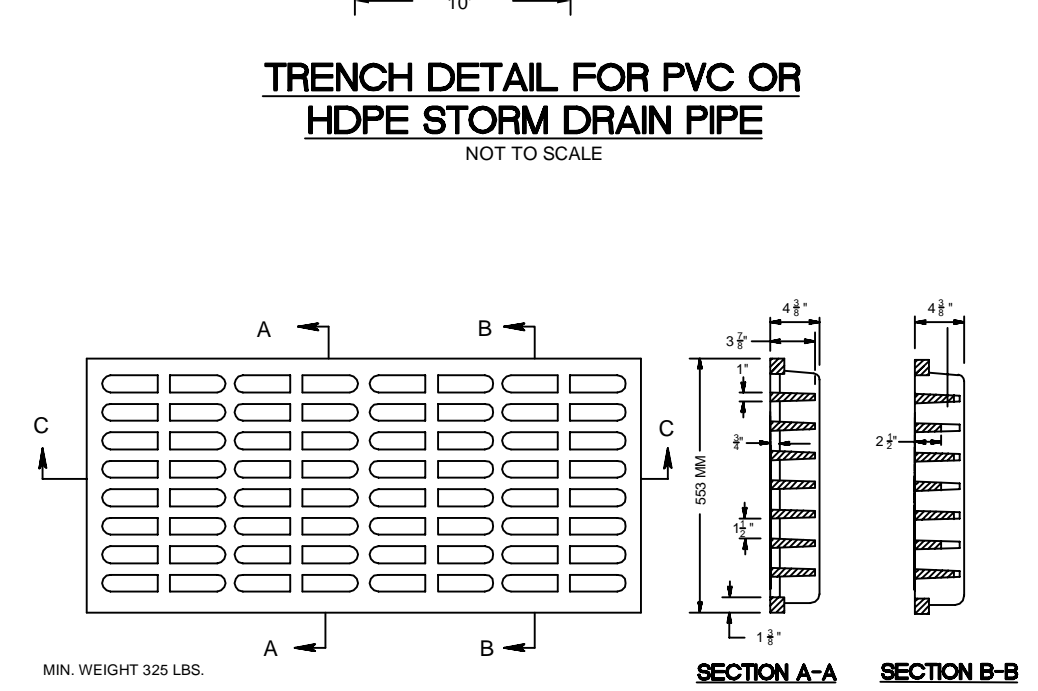
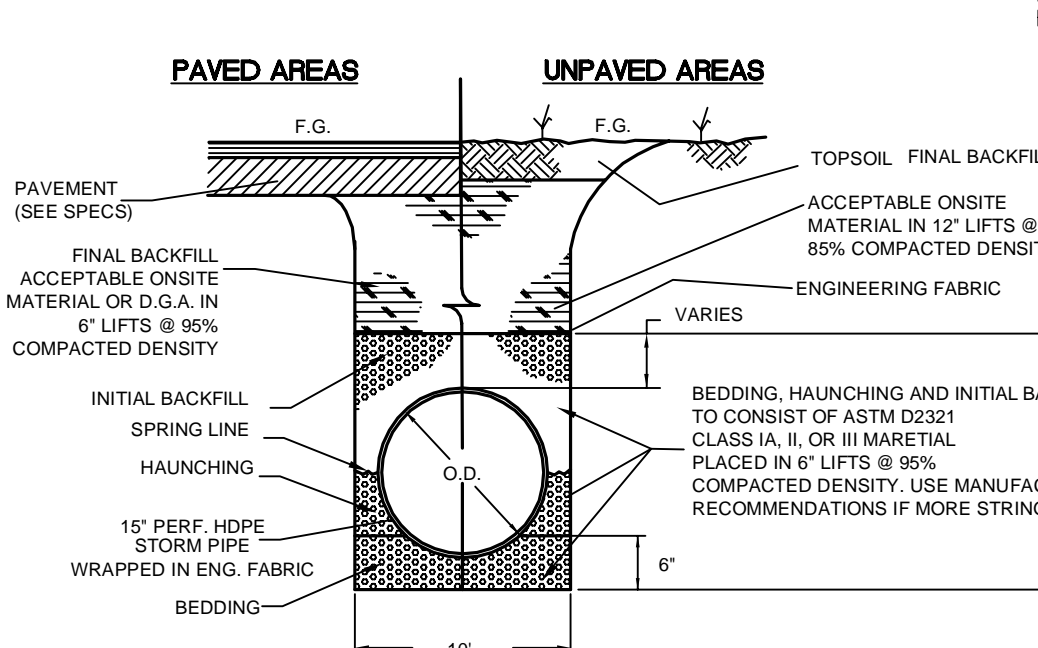
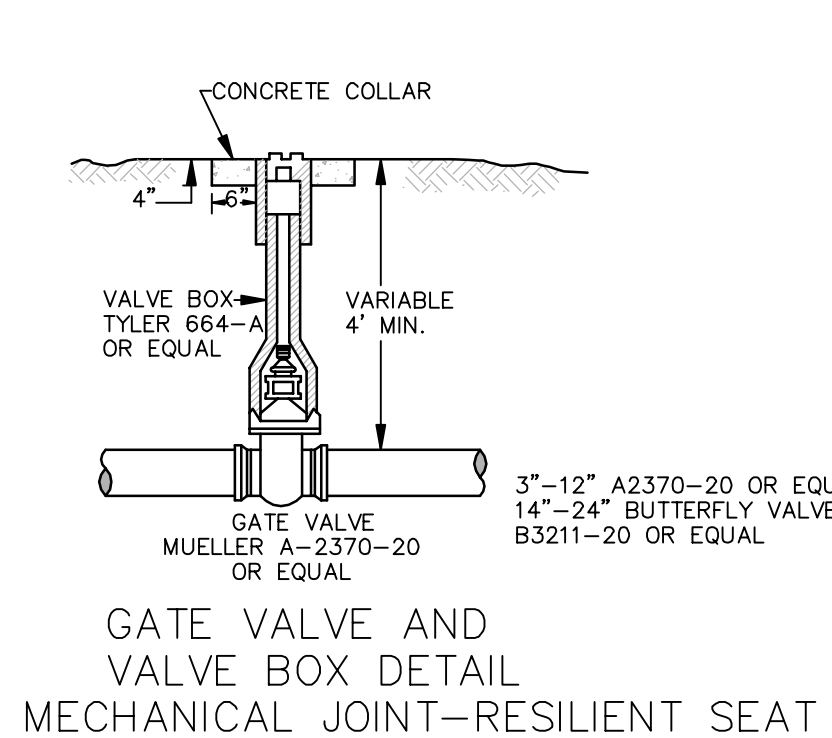
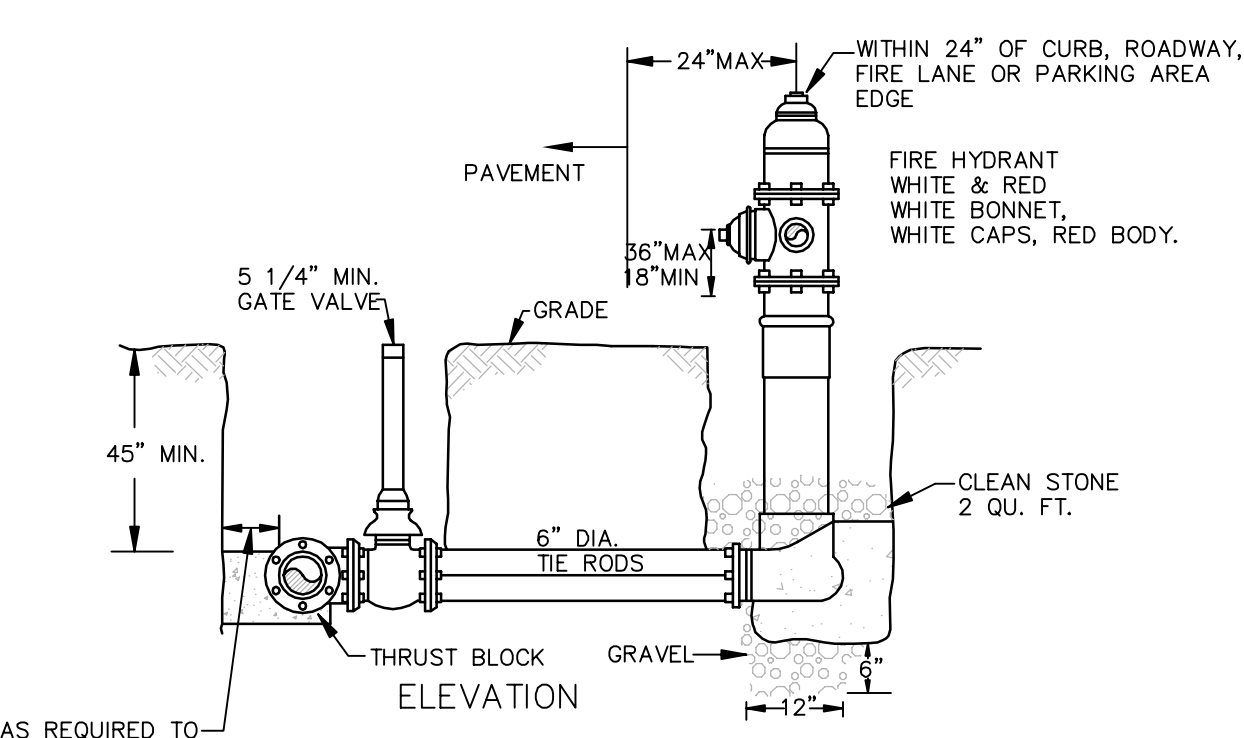
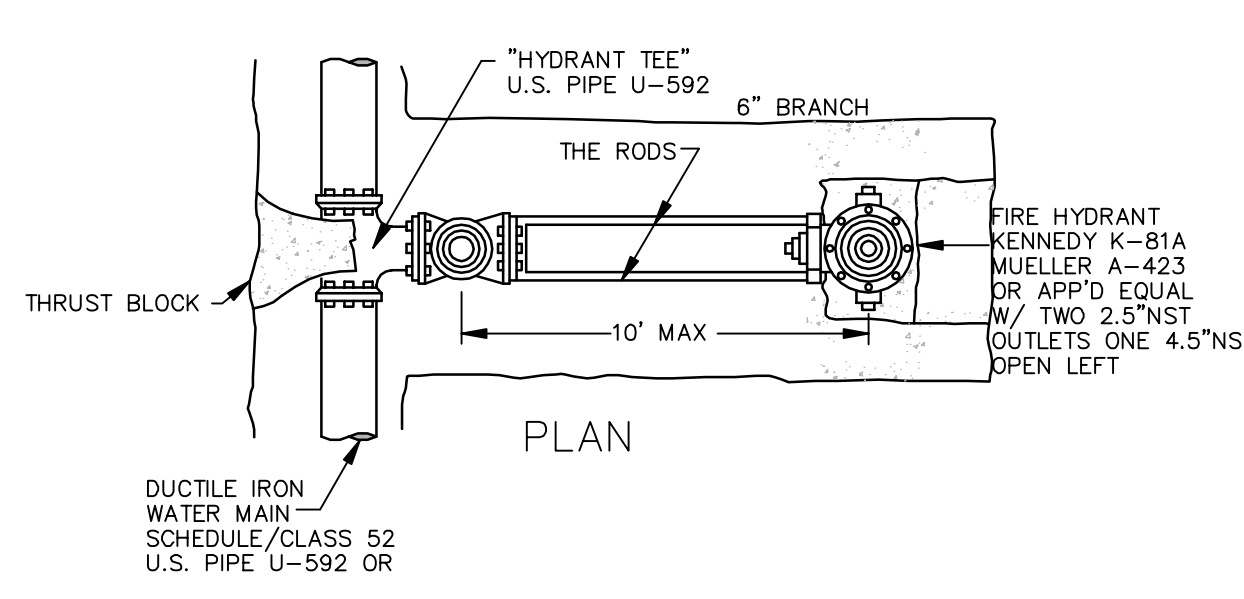
SITUATED IN
**BRIDGEWATER TOWNSHIP,
SOMERSET COUNTY, NEW JERSEY**

BY: *Michael K. Ford*
Michael K. Ford
New Jersey Professional Engineer
No. 34722



THRUST BLOCK SCHEDULE		
DESCRIPTION OF FITTINGS	DIMENSION	DIAMETER OF PIPE
TEES & CAPS	4" 1" 1.5" 2" 2.5" 3" 3.5" 4"	4" 6" 8" 10" 12" 14" 16" 18" 20"
90° BENDS	W: 0.75" 1.25" 2.0" 2.5" 3.0" 3.5" 4"	D: 0.75" 1.25" 2.0" 2.5" 3.0" 3.5" 4"
45° BENDS	W: 1" 1.5" 2.0" 2.5" 3.0" 4.0" 5"	D: 0.75" 1.25" 2.0" 2.5" 3.0" 3.5" 4"
22 1/2° BENDS	W: 0.75" 1.0" 1.25" 1.5" 1.75" 2.0" 2.25" 2.5" 2.75" 3.0"	D: 0.75" 1.0" 1.25" 1.5" 1.75" 2.0" 2.25" 2.5" 2.75" 3.0"
11 1/4° BEND	W: 0.75" 1.0" 1.25" 1.5" 1.75" 2.0" 2.25" 2.5" 2.75" 3.0"	D: 0.5" 1.0" 1.5" 2.0" 2.5" 3" 3.5"

THRUST BLOCK SCHEDULE
 THRUST BLOCK SHALL BE POURED AGAINST UNDISTURBED SOIL ONLY. ABOVE SCHEDULE IS BASED ON BEARING CAPACITY OF UNDISTURBED SOIL=2000 lb./ft. CONCRETE AVERAGE 7 DAY STRENGTH 3,000 P.S.I. NO JOINT OR BOLTS SHALL BE COVERED W/ CONCRETE, PLACE 6 MIL POLY SHEETING OVER JOINT APPROVED RESTRAINT ARE REQUIRED AT ALL VERTICAL BENDS.



FRONT SECTION
 NOTES:
 1. PRECAST STRUCTURES MAY BE USED WITH PRIOR APPROVAL OF TOWNSHIP ENGINEER
 2. STRUCTURES DEEPER THAN 8' CONSTRUCTED IN PLACE SHALL BE DOUBLE-WALLED, PRECAST UNITS PER MANUFACTURER.
 3. PROVIDE (2) 6" DIA. BLOCKOUTS FOR CONNECTION OF UNDERDRAIN (IF DICTATED BY FIELD CONDITIONS).

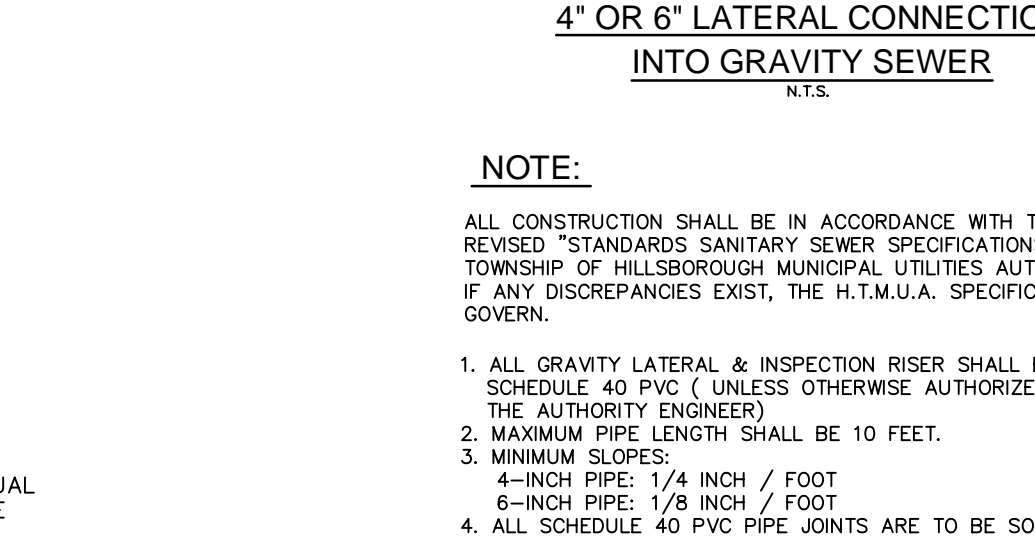
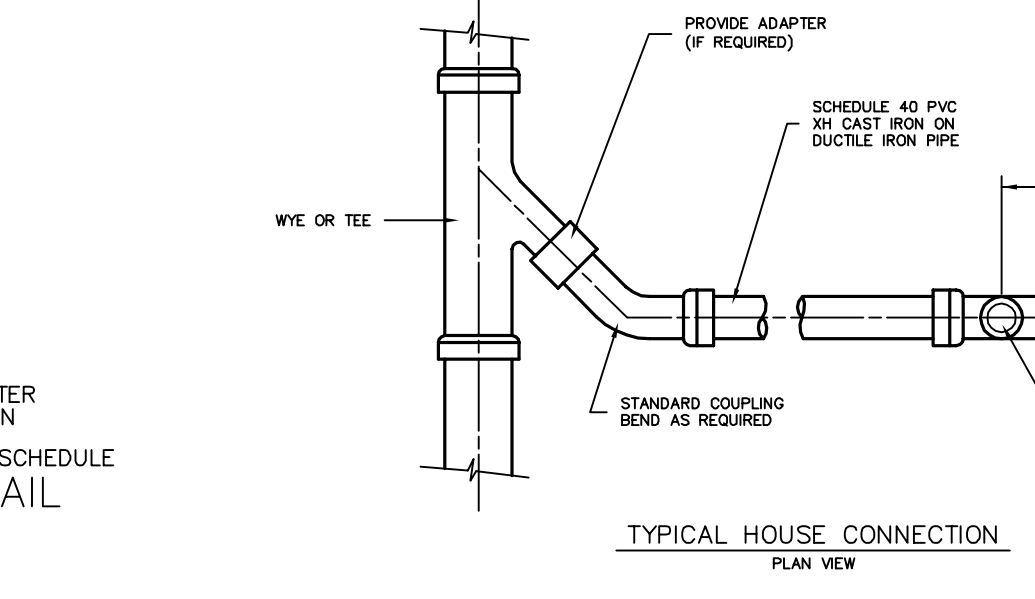
FRONT SECTION
 NOTES:
 1. PRECAST STRUCTURES MAY BE USED WITH PRIOR APPROVAL OF MUNICIPAL ENGINEER
 2. STRUCTURES DEEPER THAN 8' CONSTRUCTED IN PLACE SHALL BE DOUBLE-WALLED, PRECAST UNITS PER MANUFACTURER.
 3. PROVIDE (2) 6" DIA. BLOCKOUTS FOR CONNECTION OF UNDERDRAIN (IF DICTATED BY FIELD CONDITIONS).

STOP SIGN DETAIL (R-11)
 NOTES:
 1. STOP SIGN SHEETING HIGH INTENSITY REFLECTIVE UNLESS OTHERWISE NOTED
 2. ALL OTHER SIGNS ENGINEER GRADE SHEETING UNLESS OTHERWISE NOTED
 3. ALL SIGNS MOUNTED SHALL CONFORM TO STREET SIGN DETAIL
 4. WHERE APPLICABLE ALL TRAFFIC SIGNS SHALL CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".

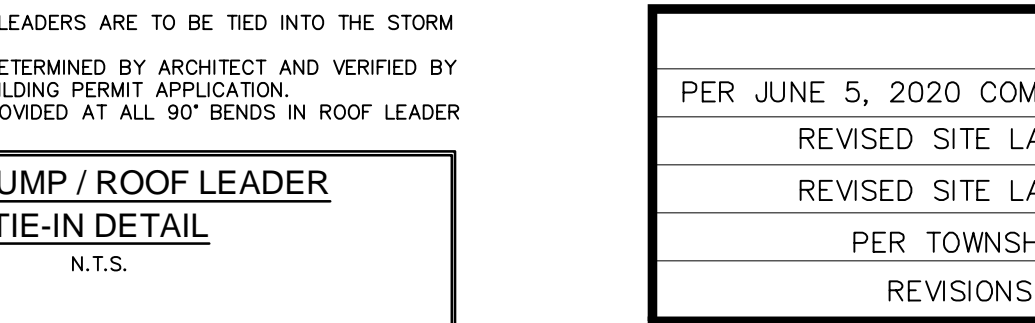
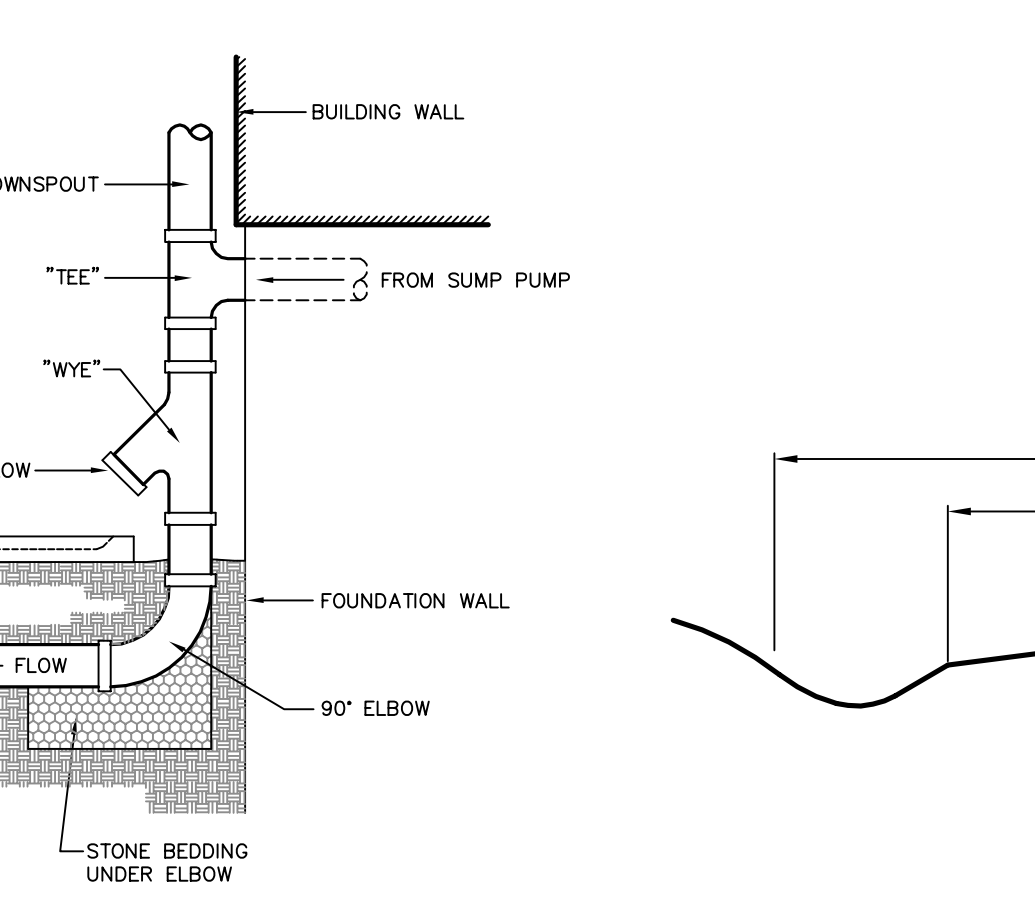
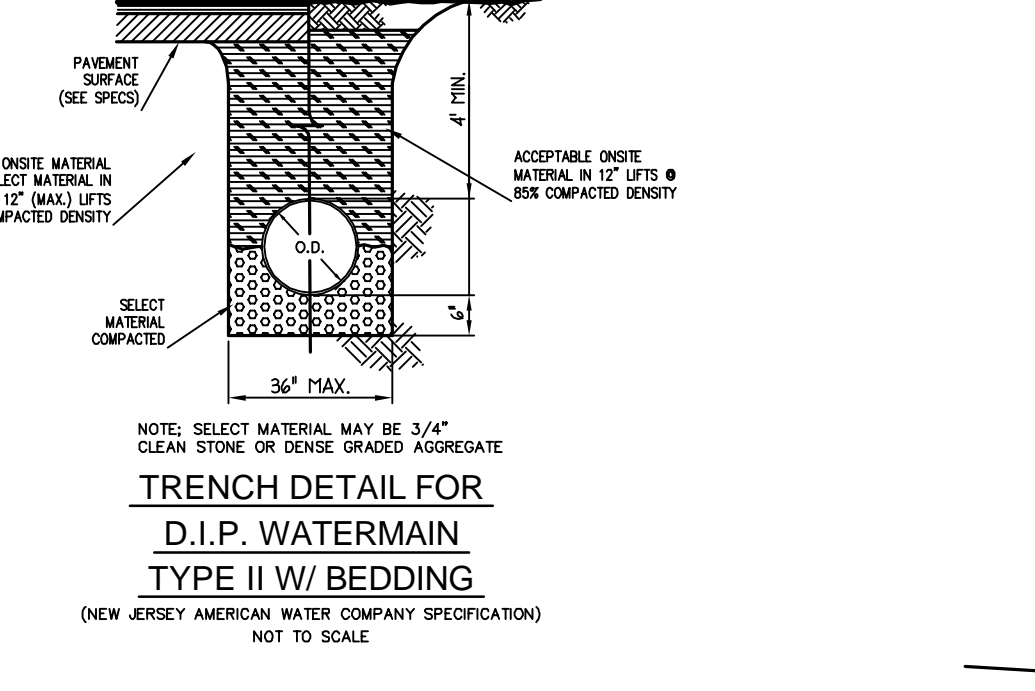
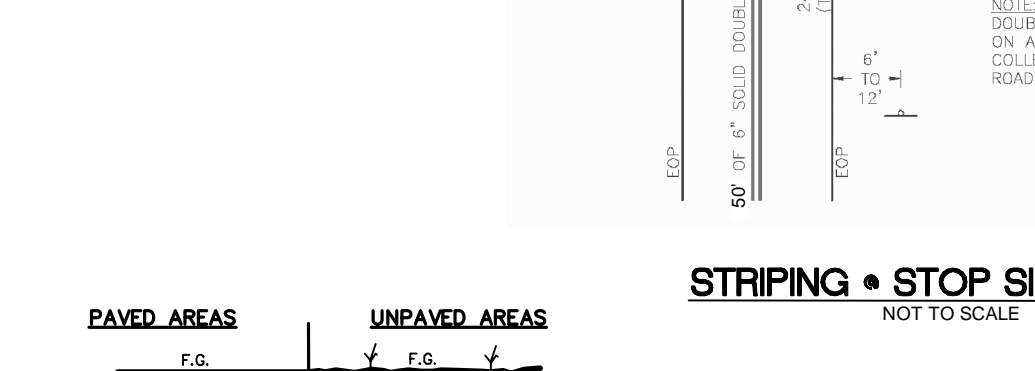
TYPE 'E' INLET DETAIL

TYPE 'A' INLET DETAIL

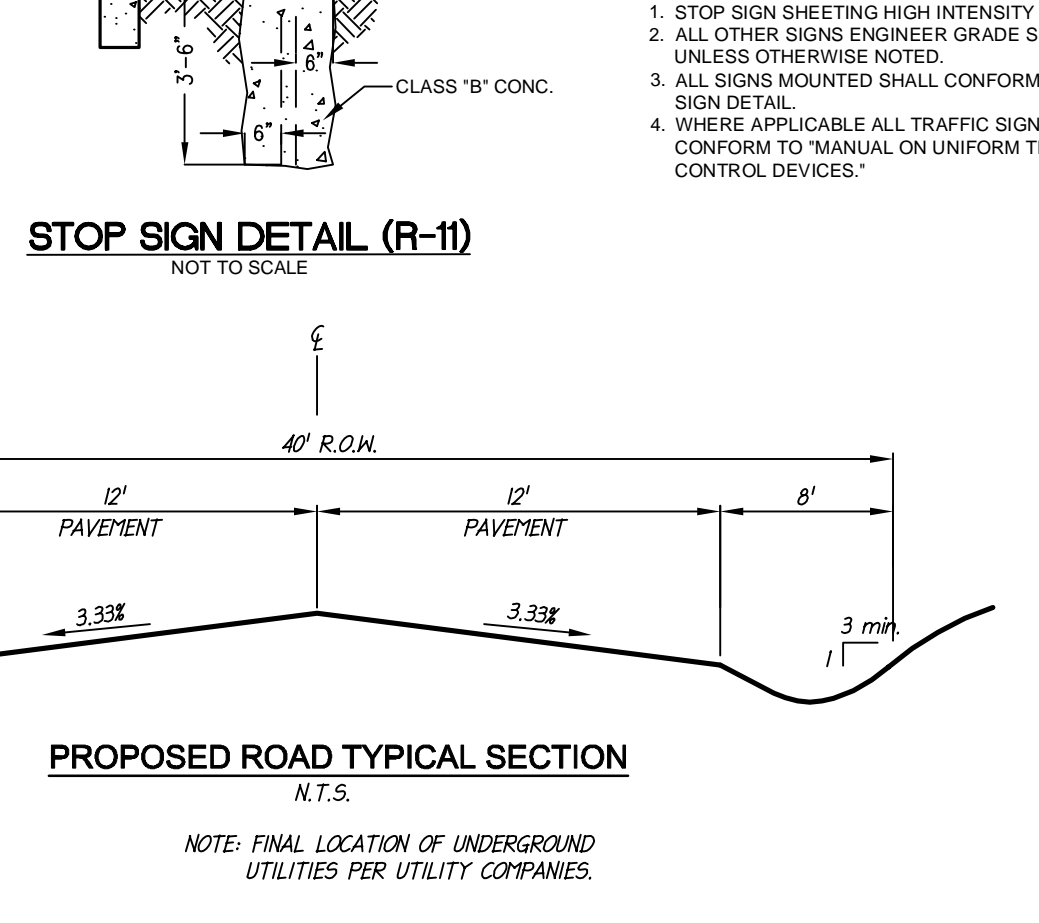
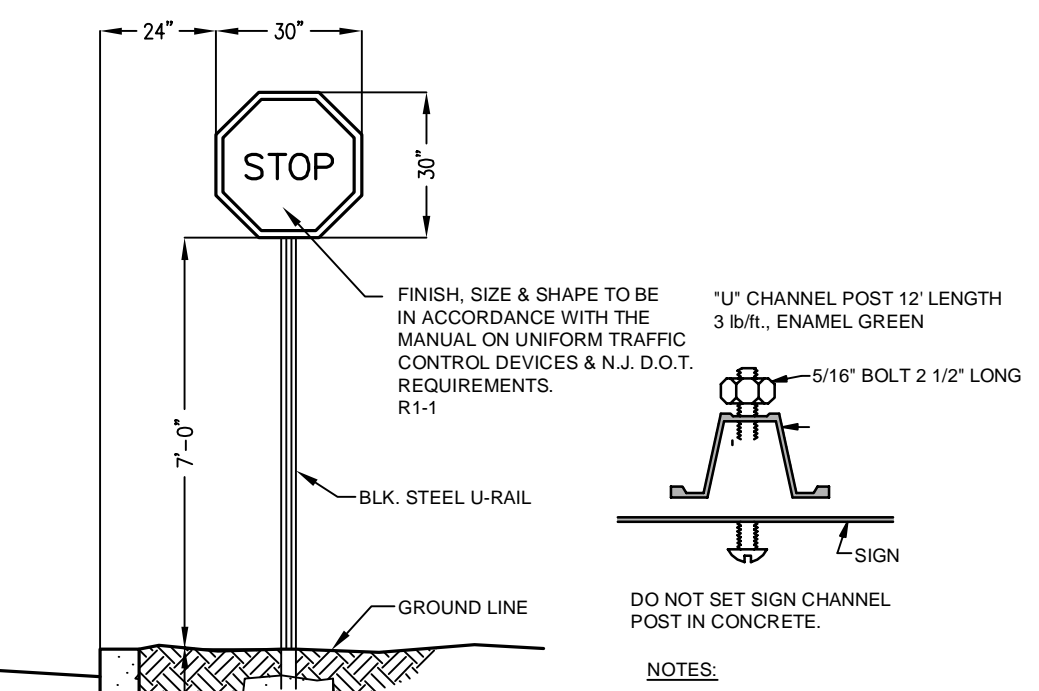
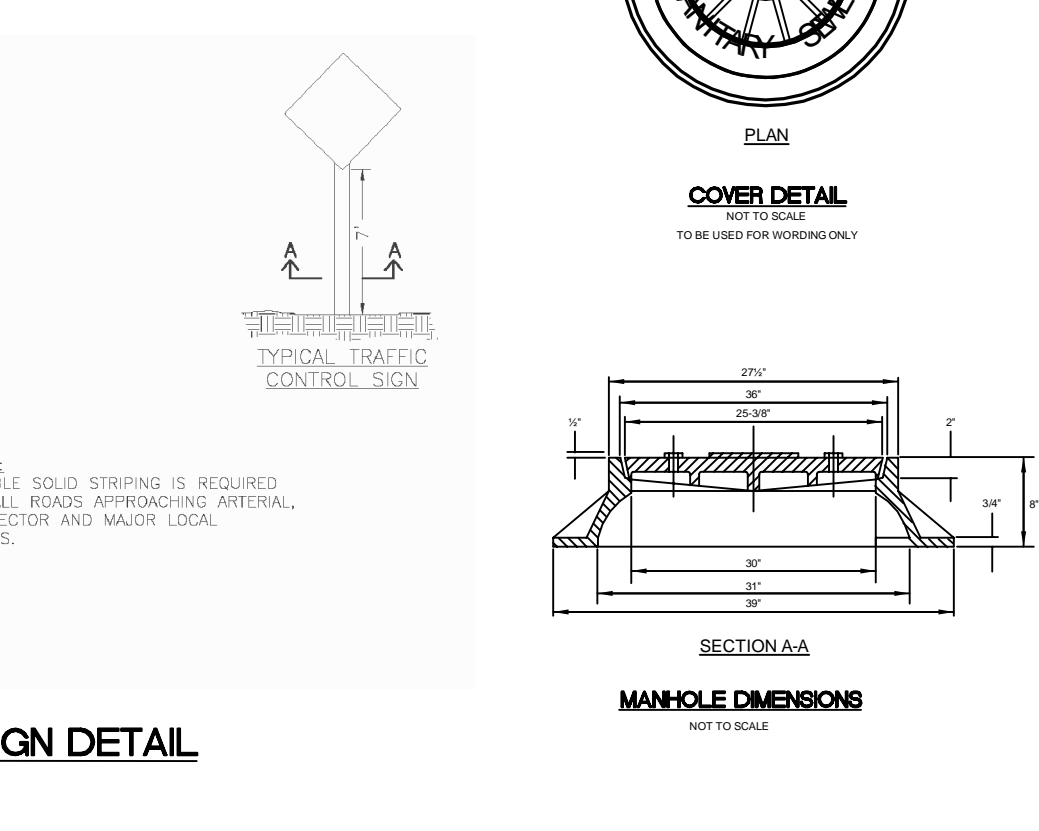
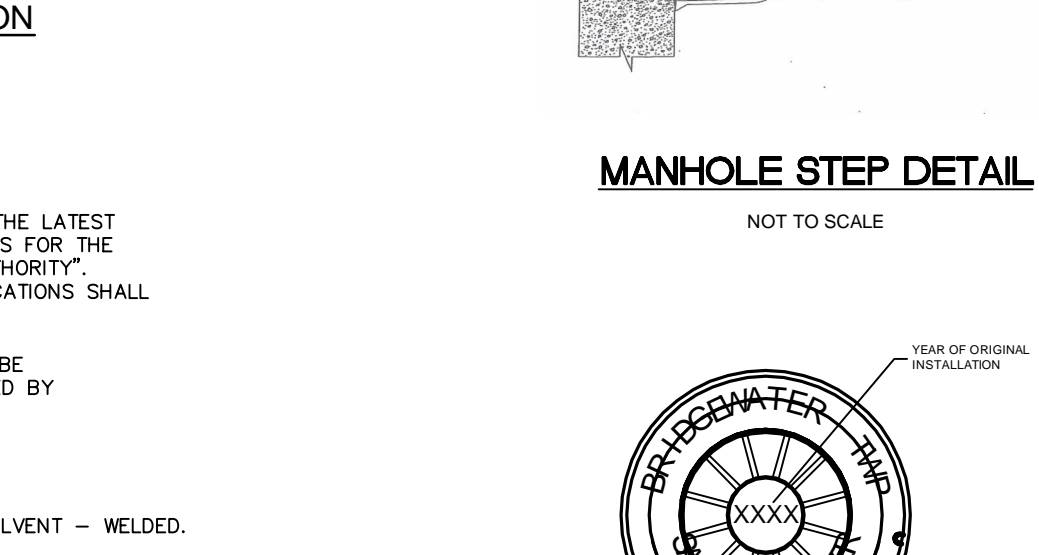
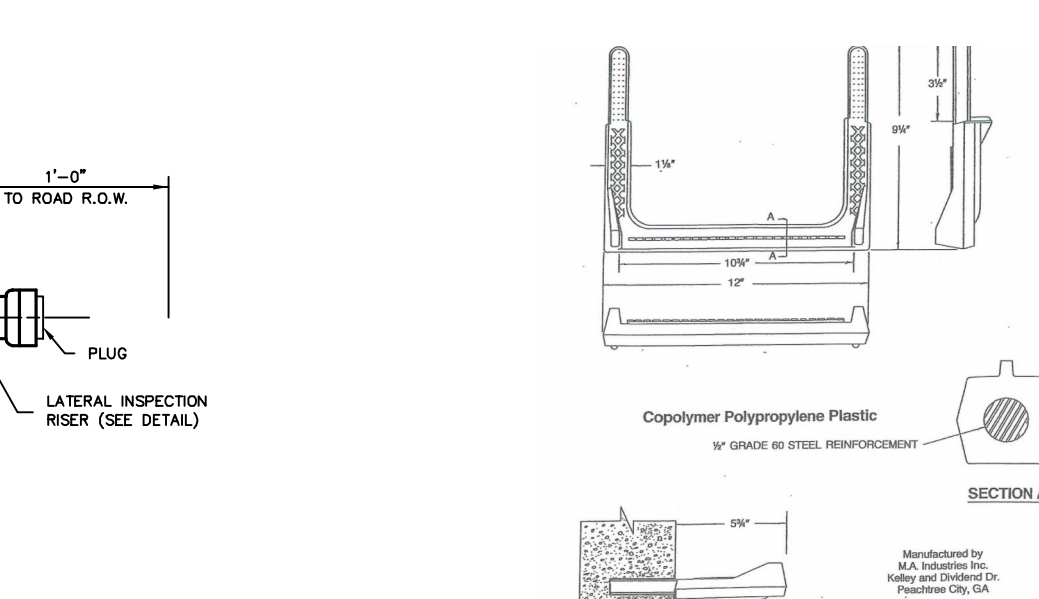
STOP SIGN DETAIL (R-11)



NOTE:
 ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST REVISED "STANDARDS SANITARY SEWER SPECIFICATIONS FOR THE TOWNSHIP OF HILLSBOROUGH MUNICIPAL UTILITIES AUTHORITY". IF ANY DISCREPANCIES EXIST, THE H.T.M.U.A. SPECIFICATIONS SHALL GOVERN.
 1. ALL GRAVITY LATERAL & INSPECTION RISER SHALL BE SCHEDULE 40 PVC (UNLESS OTHERWISE AUTHORIZED BY THE AUTHORITY ENGINEER)
 2. MAXIMUM PIPE LENGTH SHALL BE 10 FEET.
 3. MINIMUM SLOPES:
 4-INCH PIPE: 1/4 INCH / FOOT
 6-INCH PIPE: 1/8 INCH / FOOT
 4. ALL SCHEDULE 40 PVC PIPE JOINTS ARE TO BE SOLVENT - WELDED.

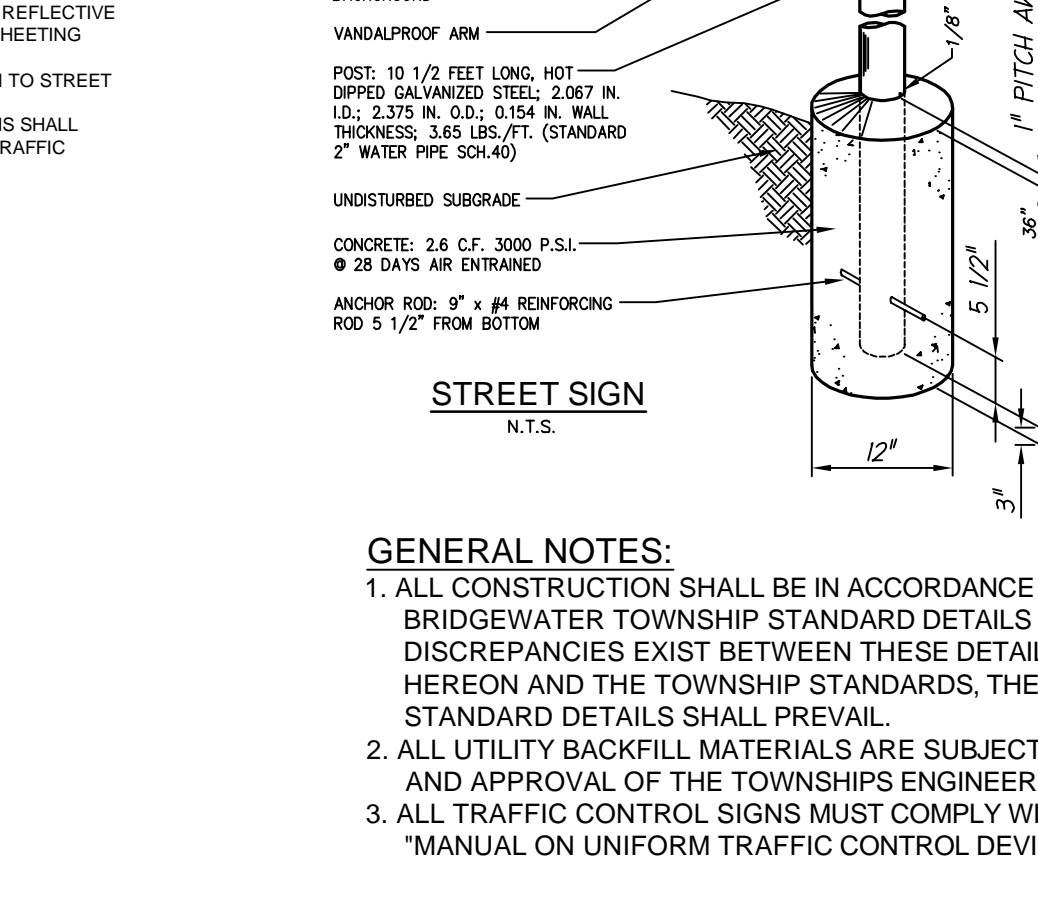
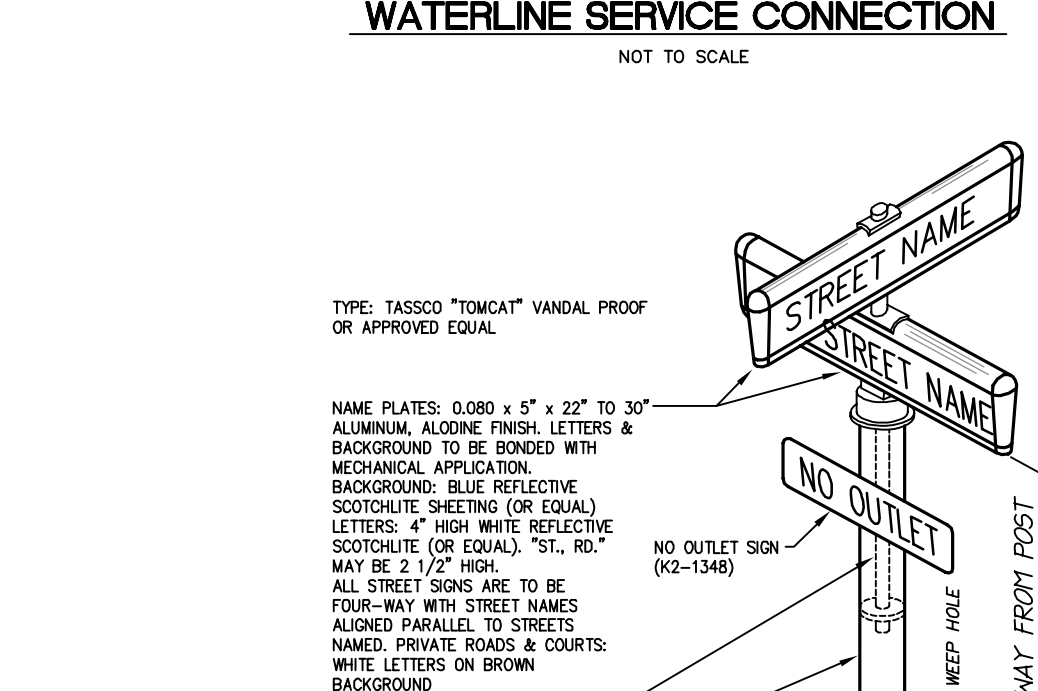
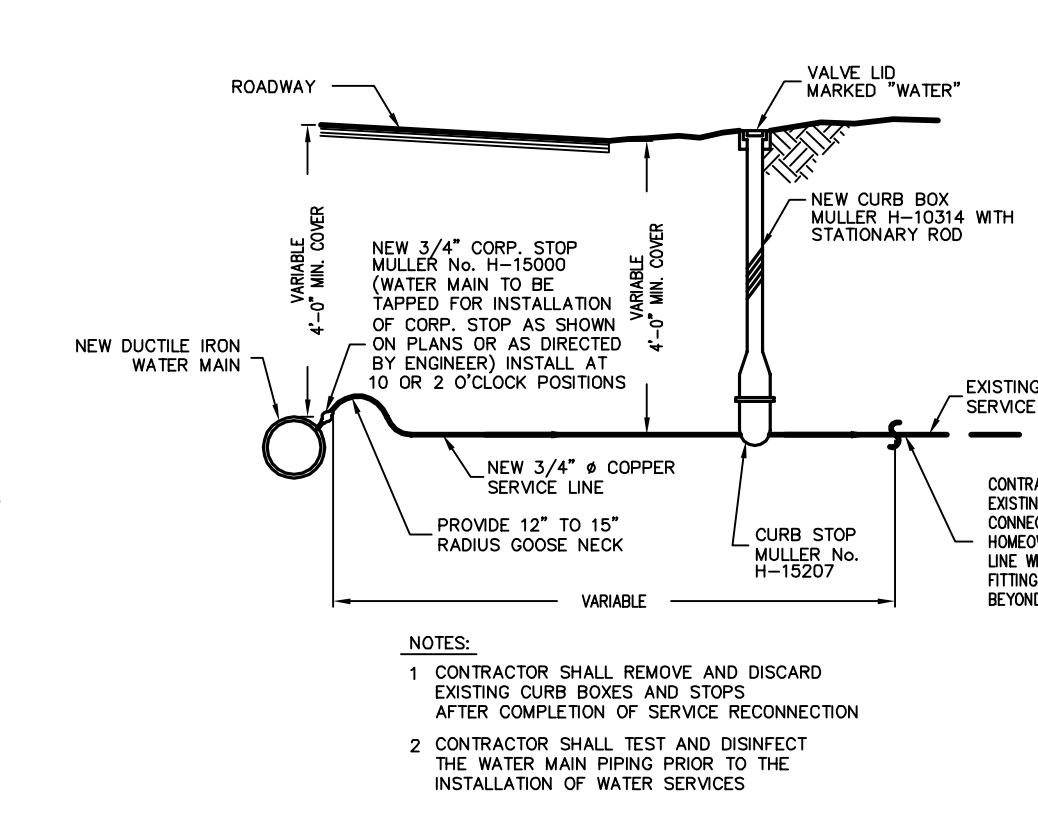
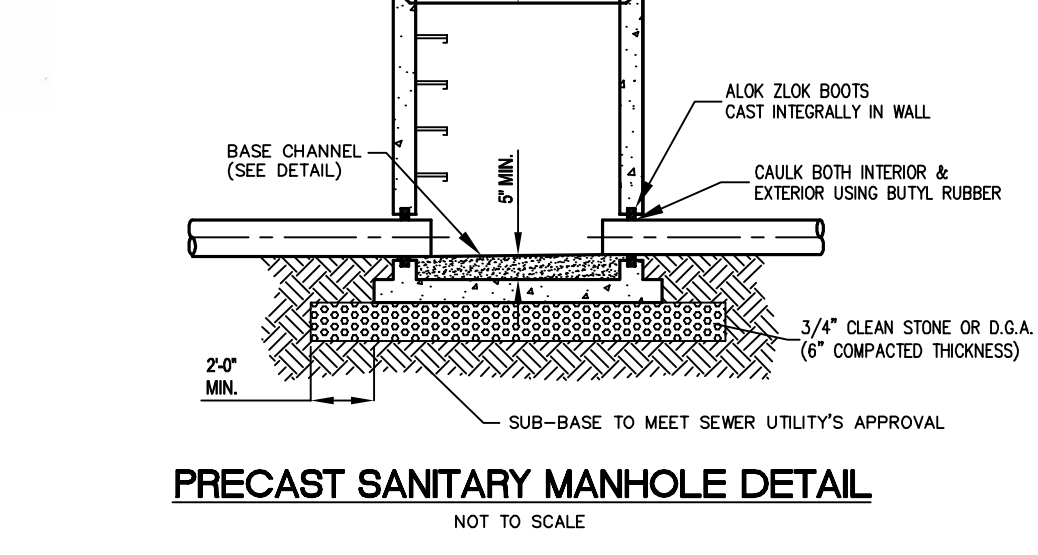
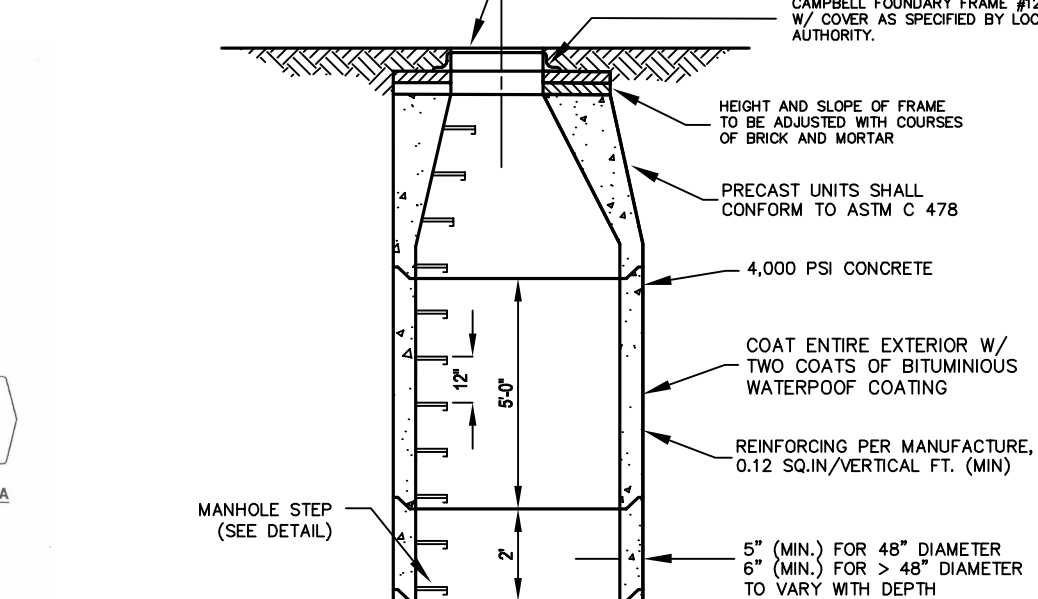


SUMP PUMP / ROOF LEADER TIE-IN DETAIL
 N.T.S.



PROPOSED ROAD TYPICAL SECTION
 N.T.S.
 NOTE: FINAL LOCATION OF UNDERGROUND UTILITIES PER UTILITY COMPANIES.

PER TOWNSHIP
 W.C.T. 10/24/18



GENERAL NOTES:
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH BRIDGEWATER TOWNSHIP STANDARD DETAILS AND IF DISCREPANCIES EXIST BETWEEN THESE DETAILS SHOWN HEREON AND THE TOWNSHIP STANDARDS, THE TOWNSHIP STANDARD DETAILS SHALL PREVAIL.
 2. ALL UTILITY BACKFILL MATERIALS ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWNSHIP ENGINEER.
 3. ALL TRAFFIC CONTROL SIGNS MUST COMPLY WITH CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".

CONSTRUCTION DETAILS
 FOR
 BLOCK 653 LOTS 36 & 37
 SITUATED IN
 BRIDGEWATER TOWNSHIP,
 SOMERSET COUNTY, NEW JERSEY



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 Robert J. Clerico, P.E. & P.P., CME, CPWM
 Samuel D. Costanzo, P.E. & P.P.
 Cynthia V. Norfleet, COO
 Mark A. Bahnick, P.E.
 Lawrence M. Duffley, P.E., PTOE
 Michael K. Ford, P.E., P.P.
 Jeffrey W. Munzing, P.E.
 Stanley J. Schrek, P.E., A.I.A., P.P., CME, LEED AP
 Herbert J. Seeburger, Jr., P.E., CME, CPWM

July 27, 2020

**Metes and Bounds Description for
 Wetland Buffer Compensation Area #1
 Located in Block 653, Lots 36 & 37
 Bridgewater Township, Somerset County, New Jersey**

Beginning at a point in the northerly property line of Proposed Lot 10, Block 653 as shown on the NJDEP Permit Plan for Block 653, Lots 36 and 37 referenced herein. Said point being distant 40.92 feet on a bearing of North 85 degrees 22 minutes 21 seconds East from a concrete monument found in the easterly right of way line of Mountain Top Road at the northwesterly corner of Proposed Lot 10 and runs, thence;

1. Through and across Lot 10, South 40 degrees 05 minutes 43 seconds East a distance of 13.70 feet to a point, thence;
2. Continuing through and across Lot 10, South 55 degrees 50 minutes 38 seconds East a distance of 13.70 feet to a point, thence;
3. Continuing through and across Lot 10, South 63 degrees 43 minutes 02 seconds East a distance of 24.10 feet to a point, thence;
4. Continuing through and across Lot 10, South 89 degrees 20 minutes 36 seconds East a distance of 15.10 feet to a point, thence;
5. Through and across Lot 10, South 86 degrees 21 minutes 07 seconds West a distance of 13.92 feet to a point, thence;
6. Continuing through and across Lot 10, North 23 degrees 08 minutes 42 seconds West a distance of 32.52 feet to a point, thence;

Containing 320 square feet of land more or less.

This description has been prepared in accordance with the plan entitled "NJDEP Permit Plan for Block 653, Lots 36 and 37 situated in Bridgewater Township, Somerset County, New Jersey" by Van Cleef Engineering Associates, LLC, and dated December 6, 2018, last revised November 26, 2019. The Permit Plan was approved by NJDEP on January 21, 2020 for Permit Number 1806.08.0004.1.

Christopher A. Melick, Professional Land Surveyor
 New Jersey License No. 24GS03586000

F:\Jobfile\5902 Redwood Inn\SUR\M&BD\Wetland Buffer Compensation Area #1 Description-Blk 653 Lots 36 & 37-CAM-1k-7-22-2020 doc
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 Herbert J. Seeburger, Jr., P.E., CME, CPWM

July 27, 2020

**Metes and Bounds Description for
 Wetland Buffer Compensation Area #2
 Located in Block 653, Lots 36 & 37
 Bridgewater Township, Somerset County, New Jersey**

Beginning at a point in the common property line between Proposed Lots 11 and 12, Block 653 as shown on the NJDEP Permit Plan for Block 653, Lots 36 and 37 referenced herein. Said point being distant 66.61 feet on a bearing of South 30 degrees 22 minutes 08 seconds East from the northeasterly corner Of Lot 11 and runs, thence;

1. Through and across Lot 12, North 73 degrees 58 minutes 34 seconds East a distance of 25.19 feet to a point, thence;
2. Continuing through and across Lot 12, North 81 degrees 06 minutes 16 seconds East a distance of 13.73 feet to a point, thence;
3. Continuing through and across Lot 12, South 26 degrees 54 minutes 23 seconds East a distance of 16.47 feet to a point, thence;
4. Continuing through and across Lot 12, South 83 degrees 12 minutes 46 seconds West a distance of 17.94 feet to a point, thence;
5. Through and across Lot 11, South 73 degrees 57 minutes 45 seconds West a distance of 27.22 feet to a point, thence;
6. Continuing through and across Lot 11, North 63 degrees 47 minutes 25 seconds West a distance of 24.73 feet to a point, thence;
7. Continuing through and across Lot 11, North 83 degrees 00 minutes 38 seconds East a distance of 10.32 feet to a point, thence;
8. Continuing through and across Lot 11, North 73 degrees 58 minutes 34 seconds East a distance of 11.12 feet to the point and place of beginning.

Containing 788 square feet of land more or less.

This description has been prepared in accordance with the plan entitled "NJDEP Permit Plan for Block 653, Lots 36 and 37 situated in Bridgewater Township, Somerset County, New Jersey" by Van Cleef Engineering Associates, LLC, and dated December 6, 2018, last revised November 26, 2019. The Permit Plan was approved by NJDEP on January 21, 2020 for Permit Number 1806.08.0004.1.

Christopher A. Melick, Professional Land Surveyor
 New Jersey License No. 24GS03586000

Please Reply To:

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Stanley J. Schrek, P.E., A.I.A., P.P., CME, LEED AP
Herbert J. Seeburger, Jr., P.E., CME, CPWM

July 27, 2020

**Metes and Bounds Description for
Wetland Buffer Compensation Area #3
Located in Block 653, Lots 36 & 37
Bridgewater Township, Somerset County, New Jersey**

Beginning at a point in the northerly property line of Proposed Lot 12, Block 653 as shown on the NJDEP Permit Plan for Block 653, Lots 36 and 37 referenced herein. Said being distant 10.85 feet on a bearing of North 60 degrees 38 minutes 39 seconds East from an axle found at the angle point in the northerly line of Lot 12 and runs, thence;

1. Along the northerly property line of Lot 12, North 60 degrees 38 minutes 39 seconds East a distance of 14.10 feet to a point, thence;
2. Through and across Lot 12 South 60 degrees 23 minutes 32 seconds East a distance of 9.73 feet to a point, thence;
3. Continuing through and across Lot 12, South 29 degrees 36 minutes 28 seconds West a distance of 61.30 feet to a point, thence;
4. Continuing through and across Lot 12, South 42 degrees 28 minutes 07 seconds West a distance of 34.61 feet to a point, thence;
5. Continuing through and across Lot 12, South 11 degrees 13 minutes 04 seconds West a distance of 3.98 feet to a point, thence;
6. Continuing through and across Lot 12, North 78 degrees 46 minutes 57 seconds West a distance of 17.00 feet to a point, thence;
7. Continuing through and across Lot 12, North 11 degrees 13 minutes 04 seconds East a distance of 8.74 feet to a point, thence;
8. Through and across Lot 17, North 42 degrees 28 minutes 07 seconds East a distance of 37.45 feet to the point and place of beginning.

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Wetland Buffer Compensation Area #3
Located in Block 653, Lots 36 & 37
Bridgewater Township
July 27, 2020
Page 2

9. Through and across Lot 12, North 29 degrees 36 minutes 28 seconds East a distance of 47.30 feet to a point, thence;

Containing 1,703 square feet of land more or less.

This description has been prepared in accordance with the plan entitled "NJDEP Permit Plan for Block 653, Lots 36 and 37 situated in Bridgewater Township, Somerset County, New Jersey" by Van Cleef Engineering Associates, LLC, and dated December 6, 2018, last revised November 26, 2019. The Permit Plan was approved by NJDEP on January 21, 2020 for Permit Number 1806.08.0004.1.

A handwritten signature in cursive script that reads "Christopher A. Melick".

Christopher A. Melick, Professional Land Surveyor
New Jersey License No.
24GS03586000



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Jeffrey W. Munzing, P.E.
Stanley J. Schrek, P.E., A.I.A., P.P., CME, LEED AP
Herbert J. Seeburger, Jr., P.E., CME, CPWM

July 27, 2020

**Metes and Bounds Description for
Wetland Buffer Compensation Area #4
Located in Block 653, Lots 36 & 37
Bridgewater Township, Somerset County, New Jersey**

Beginning at a point in the southeasterly property line of Proposed Lot 13, Block 653 as shown on the NJDEP Permit Plan for Block 653, Lots 36 and 37 referenced herein. Said point distant 160.69 feet on a bearing of South 42 degrees 00 minutes 24 seconds West from a concrete monument found at the southeasterly corner of Proposed Lot 13 and runs, thence;

1. Along the northwesterly property line of Lot 20, Block 653, South 42 degrees 00 minutes 24 seconds West a distance of 25.86 feet to a point, thence;
2. Through and across Lot 13, North 33 degrees 09 minutes 00 seconds West a distance of 33.15 feet to a point, thence;
3. Continuing through and across Lot 13, North 13 degrees 39 minutes 20 seconds West a distance of 30.24 feet to a point, thence;
4. Continuing through and across Lot 13, North 26 degrees 06 minutes 48 seconds West a distance of 56.30 feet to a point, thence;
5. Continuing through and across Lot 13, North 64 degrees 33 minutes 43 seconds West a distance of 9.40 feet to a point, thence;
6. Along the northwesterly property line of Lot 13, North 57 degrees 21 minutes 28 seconds East a distance of 17.19 feet to a point, thence;
7. Continuing through and across Lot 13, South 27 degrees 34 minutes 44 seconds East a distance of 17.36 feet to a point, thence;
8. Continuing through and across Lot 13, South 37 degrees 34 minutes 00 seconds East a distance of 33.14 feet to a point, thence;
9. Continuing through and across Lot 13, South 46 degrees 07 minutes 17 seconds East a distance of 19.70 feet to a point, thence;

F:\Jobfile\5902 Redwood Inn\SUR\M&BD\Wetland Buffer Compensation Area #4 Description-Blk 653 Lots 36 & 37-CAM-lk-7-22-2020.doc

VanCleefEngineering.com

Please Reply To:

CENTRAL NJ OFFICE

32 Brower Lane, P.O. Box 5877 • Hillsborough NJ 08844
908.359.8291 • Fax: 908.359.1580

With Other Offices In:

Lebanon NJ • Mt. Arlington NJ • Freehold NJ • Phillipsburg NJ
Toms River NJ • Hamilton NJ • Doylestown PA • Bethlehem PA
Mechanicsburg PA • Leesport PA • Newark DE



Wetland Buffer Compensation Area #4
Located in Block 653, Lots 36 & 37
Bridgewater Township
July 27, 2020
Page 2

10. Continuing through and across Lot 13 South 14 degrees 14 minutes 50 seconds East a distance of 29.54 feet to a point, thence;

11. Continuing through and across Lot 13, South 33 degrees 09 minutes 00 seconds East a distance of 21.31 feet to the point and place of beginning.

Containing 2,501 square feet of land more or less.

This description has been prepared in accordance with the plan entitled "NJDEP Permit Plan for Block 653, Lots 36 and 37 situated in Bridgewater Township, Somerset County, New Jersey" by Van Cleef Engineering Associates, LLC, and dated December 6, 2018, last revised November 26, 2019. The Permit Plan was approved by NJDEP on January 21, 2020 for Permit Number 1806.08.0004.1.

A handwritten signature in cursive script that reads "Christopher A. Melick". The signature is written in black ink and is positioned above a horizontal line.

Christopher A. Melick, Professional Land Surveyor
New Jersey License No. 24GS03586000



COUNTY OF SOMERSET PLANNING BOARD

County Administration Building
20 Grove Street, P.O. Box 3000
Somerville, New Jersey 08876-1262
(908) 231-7021 • Fax (908) 707-1749
PlanningBd@co.somerset.nj.us
www.co.somerset.nj.us



MEMBERS

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Chairman

Christopher Kelly
Vice Chairman

Marlan Fenwick

Albert Ellis

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Matthew D. Loper
County Engineer/
Board Secretary

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1st Alternate

Dennis Quinlan
2nd Alternate

Adam Slutsky
County Engineer Alternate

STAFF

Walter Lane, AICP/PP
Director of Planning

John M. Lore, Esq.
Deputy County Counsel
for Planning

Cynthia Mellusi
Office Manager

November 26, 2018

Ronald Charles, Chair
Bridgewater Twp. Planning Board
100 Commons Way
Bridgewater, NJ 08807

Re: REDWOOD INN RESIDENTIAL SUBDIVISION
BLOCK 653, LOTS 36 & 37 /BW 989:003-18

Dear Mr. Charles,

This office and the Office of the County Engineer have reviewed the information submitted for the above referenced development project. The applicant (Township of Bridgewater) is merging two (2) existing lots into a single lot then subdividing same lot into eight (8) single-family lots. As part of the project the vacant Redwood Inn banquet hall will be demolished. The 7.68-acre property is located on Mountain Top Road, a local road. The reviewed information consists of a plan entitled "Preliminary and Final Subdivision Prepared for Township of Bridgewater Block 653 Lots 36 & 37" dated September 10, 2018, with a most recent revision date of October 24, 2018. Van Cleef Engineering Associates prepared the plan.

Somerset County Planning Board anticipates that it will approve this project once the conditions of approval outlined herein have been satisfied.

Recycling

The developer is to make a cash contribution in the amount of **\$80.00** (\$10.00 per dwelling unit) to cover the cost of the recycling containers to be provided by Somerset County to each property owner. Somerset County will arrange for the curbside collection of the recyclable materials as part of the routine collection schedule. Payment by check shall be made payable to *Treasurer, County of Somerset*.

Stormwater Requirements

The plan shows that the stormwater discharges easterly to a scour hole at the rear of the site. Since the proposal's stormwater runoff discharges onsite, it is requested that the Township handle the review of the stormwater plans and the bonding and inspection of the stormwater network for this proposal.

Filed Map Requirements

A final plat is to be submitted to this office and, as such, the following items must be addressed.

1. The bearing system for the final plat shall be based upon the New Jersey Plane Coordinate System. **Please note, it is required that every bearing on the Final Plat must be based on the New Jersey Plane Coordinate System. No rotation angles will be accepted.**

- Mission Statement -

The County of Somerset is committed to excellence and innovation in public service, promoting the well-being of all residents and communities by providing effective, efficient and responsive leadership.

Somerset County Is An Equal Opportunity Employer

2. In accordance with the criteria in the County's *Land Development Review Resolution*, a minimum of two Global Positioning System (GPS) control monuments are to be set per sheet of the filed map for all major subdivisions. The County is currently developing a countywide geodetic network of GPS monuments. Therefore, it has been determined that a cash contribution is to be submitted in lieu of monument installation. The amount of the contribution will be based on **\$3,500** per sheet to be recorded as part of the Filed Map. The actual amount of this obligation will be calculated when the paper copy of the Filed Map is submitted for review. A check in guaranteed form will be required prior to the County's signature on the Final Map.
3. Prior to obtaining any signatures on the final plat, a copy is to be submitted for review and acceptance by the County.
4. Two paper copies of the final plat shall be provided to this office when it is presented for signature.
5. An appointment shall be made with the County Planning Board for the purpose of obtaining Planning Board signatures on the final plat. Please contact the Planning Board office at (908) 231-7021 to arrange a mutually agreeable time and date.
6. The filed map shall contain the following County Planning Board signature line with the municipal signatures:

This Plat complies with revised New Jersey Statutes 40:27-1 through 40:27-6.13

Thomas R. D'Amico, Somerset County Planning Board Date

Digital Submission

For subdivisions being filed by plat, prior to obtaining Planning Board signatures on the final plat, the applicant shall submit to the County Planning Board an image of the filed plat in digital format that meets the County's digital map submission standards as outlined in the Somerset County Land Development Resolution, Chapter 6 "Digital Map Submission Standards" which may be found at <https://www.co.somerset.nj.us/government/public-works/planning/land-development>. The entire subdivision project is to be depicted as a single file. The image may be submitted by email (if under 10 mb) at Ruggieri@co.somerset.nj.us or on a disk (either CD or DVD). Questions concerning digital submission standards may be directed to Ann Borowik of Somerset County Information Technology at (908) 231- 7671.

Final Plat GIS Fee

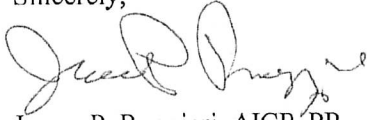
In accordance with Section "F" of the Somerset County Review Fee Schedule, prior to obtaining Planning Board signatures on the final plat, the applicant shall submit a separate check for the Geographic Information System Fee of **\$105.00** (\$25.00 per plat plus \$10.00 per new lot). Payment by check shall be in guaranteed form and made payable to *Treasurer, County of Somerset*.

Redwood Inn Residential Subdivision /BW 989:003-18
November 26, 2018

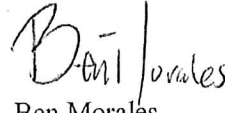
Page 3 of 3

This report reflects comments from the Office of the County Engineer (908-231-7024) and the County Planning Board. If there are any questions, please contact the appropriate individual below.

Sincerely,



James P. Ruggieri, AICP, PP
Principal Community Planner



Ben Morales
Engineer, Land Development Section

- c: Christopher A. Melick, Van Cleef Engineering Assoc. cmelick@vcea.org
William B. Savo, Esq. savo@centraljerseylaw.com
Scarlett Doyle, Bridgewater Twp. Planner, doyle45@comcast.net
Bridgewater Twp. Land Use & Planning Admin. planning@bridgewaternj.gov
David Battaglia, Director of Mun. Services, Twp. Engineer dbattaglia@bridgewaternj.gov
Steve Rodzinak, Bridgewater Twp. Superintendent/Construction Official srodzinak@bridgewaternj.gov
Jackie Pino, Bridgewater Twp. Secretary of Municipal Services jpino@bridgewaternj.gov



STATE OF NEW JERSEY
 DEPARTMENT OF ENVIRONMENTAL PROTECTION
 DIVISION OF LAND USE REGULATION
 Mail Code 501-02A, P.O. Box 420, Trenton, New Jersey 08625-0420
 Telephone: (609) 777-0454 or Fax: (609) 777-3656
 www.nj.gov/dep/landuse



PERMIT

<p>In accordance with the laws and regulations of the State of New Jersey, the Department of Environmental Protection hereby grants this permit to perform the activities described below. This permit is revocable with due cause and is subject to the limitations, terms and conditions listed below and on the attached pages. For the purpose of this document, "permit" means "approval, certification, registration, authorization, waiver, etc." Violation of any term, condition or limitation of this permit is a violation of the implementing rules and may subject the permittee to enforcement action.</p>		Approval Date JAN 21 2020
		Expiration Date JAN 20 2025
<p>Permit Number(s): 1806-08-0004.1 FWW180001, 180003 180004, and 180005</p>	<p>Type of Approval(s): FWGP2-Underground utility lines FWGP11 outfalls/intakes TAW Special Activity Waivers -Averaging Plan and Redevelopment Water Quality Certificate</p>	<p>Enabling Statute(s): N.J.S.A. 13:9B-1 et seq. N.J.S.A. 58:10A-1 et seq.</p>
<p>Permittee: Township of Bridgewater Attn.: James T. Naples, Township Administrator 100 Commons Way Bridgewater, NJ 08807</p>	<p>Site Location: Block: 653 & Lots: 36 and 37 Municipality: Bridgewater Township County: Somerset</p>	
<p>Description of Authorized Activities: This permit authorizes the following disturbances: the permanent disturbance to 0.005 acres (222 sq. ft.) of freshwater wetlands and 0.044 acres (1,903 sq. ft.) of transition area for the installation of a utility line under a Freshwater Wetlands General Permit No. 2; the permanent disturbance to 0.025 acres (1,097 sq. ft.) of freshwater wetlands and to 0.043 acres (1,856 sq. ft.) of transition area, and the temporary disturbance to 0.008 acres (350 sq. ft.) of freshwater wetlands and to 0.003 acres (137 sq. ft.) of transition area for the removal of an existing stormwater pipe and the installation of a new stormwater pipe and outfall protection structure under a Freshwater Wetlands General Permit No. 11; and the permanent disturbance to 0.027 acres (1,186 sq. ft.) of transition area for the construction of the portion of a driveway and house under a Freshwater Wetlands Special Activity Transition Area Waiver for Redevelopment. Additionally, this permit authorizes the disturbance to 0.120 acres (5,242 sq. ft.) of transition area for the construction of a housing development and associated structures. This transition area reduction will be compensated by 0.121 acres (5,288 sq. ft.) of transition area under a Transition Area Waiver Averaging Plan. This authorization to conduct activities in freshwater wetlands includes the issuance of a Water Quality Certificate.</p> <p>The Division of Land Use Regulation has reviewed the referenced application for a General Permit authorization pursuant to the requirements of the Freshwater Wetlands Protection Act Rules at N.J.A.C. 7:7A-7. The activities allowed by this authorization shall comply with applicable conditions noted at N.J.A.C. 7:7-5.7, 7.2, 11, and 8, and 20.2. Failure to comply with these conditions shall constitute a violation of the Freshwater Wetland Protection Act (N.J.S.A. 13:9B-1 et. seq.).</p> <p>Any additional un-permitted disturbance of freshwater wetlands, State Open Waters and/or transition areas besides that shown on the approved plans shall be considered a violation of the Freshwater Wetlands Protection Act rules unless the activity is exempt or a permit is obtained from the Department prior to the start of the proposed disturbance. This permit is not valid, and no disturbance of any wetland transition areas is authorized until the conservation restriction as noted in Pre-Construction condition number 4 is recorded with the appropriate County officials and a record of said filing is submitted to the Division of Land Use Regulation.</p>		
<p>Prepared by: <i>Monica Zabroski</i> Monica Zabroski</p>	<p>Received and/or Recorded by County Clerk:</p>	
<p>If the permittee undertakes any regulated activity authorized under a permit, such action shall constitute the permittee's acceptance of the permit in its entirety as well as the permittee's agreement to abide by the permit and all conditions therein.</p>		
<p>This permit is not valid unless authorizing signature appears on the last page.</p>		

PRE-CONSTRUCTION CONDITIONS:

1. Timing: If this permit contains a condition that must be satisfied prior to the commencement of construction, the permittee must comply with such condition(s) within the time required by the permit or, if no time specific requirement is imposed, then within six months of the effective date of the permit, or provide evidence satisfactory to the Division that such condition(s) cannot be satisfied.
2. Prior to the commencement of site clearing, grading or construction, the permittee shall have a silt fence or sediment barrier erected at the limits of disturbance authorized herein and at the limits of the modified transition area as authorized herein. These fences shall serve as both a siltation and debris barrier as well as a physical barrier protecting the wetland and modified transition area from encroachment by construction vehicles or activities. These fences shall be kept in place and maintained throughout the duration of construction, until such time that the site is stabilized. No regulated activities, including grading or clearing may occur in the wetland or modified transition area on site without the prior approval of the Department.
3. Pursuant to N.J.A.C. 7:7A-8.1(b)3, prior to construction of the structure (including site preparation) the permittee shall install a split rail fence or equivalent physical barrier along the limits of the modified transition area to ensure that subsequent activities on site do not encroach into the conservation restricted wetlands and transition areas. The modified transition area and wetlands shall remain undisturbed and natural, and not be maintained as a mowed or landscaped area. These areas shall be allowed to revert to a natural habitat. The permittee shall erect permanent signs on the barrier that denotes the area beyond the fence as deed restricted.
4. Within 90 days of the permit issuance and/or prior to construction (whichever occurs first), the property owner shall sign a Department-approved conservation restriction for the **compensation areas only** on the subject parcel(s) in accordance with N.J.A.C. 7:7A-8.1(e) and N.J.A.C. 7:7A 8.2 (f). The conservation restriction shall preclude future transition area disturbance within the compensation area on-site, *unless said activity is permissible pursuant to the language of the deed restriction*. The restriction shall be included on the deed and recorded in the office of the County Clerk (the Registrar of Deeds and Mortgages), in the county wherein the lands included in the waiver are located. Said restriction shall run with the land and be binding upon all successive owners. All individual lot surveys shall show the approved wetland and transition area boundaries. Any regulated activities undertaken on the site before a copy of this recorded restriction is submitted to the Department will be considered in violation of the Freshwater Wetlands Protection Act. The conservation restriction shall conform, verbatim, to the format and content of the model Conservation Restriction/Easement for Freshwater Wetlands Transition Area – Averaging Plan on the Division's website at http://www.nj.gov/dep/landuse/download/lur_036.pdf. A copy of the recorded conservation restriction shall be forwarded to the Division's project manager via email at monica.zabroski@dep.nj.gov before beginning regulated activities.

FRESHWATER WETLAND SPECIAL CONDITIONS:

1. The total amount of disturbance associated with this authorization shall not exceed the following: the permanent disturbance to 0.005 acres (222 sq. ft.) of freshwater wetlands and to 0.044 acres (1,903 sq. ft.) of transition area for the installation of a utility line under a Freshwater Wetlands General Permit No. 2; the permanent disturbance to 0.025 acres (1,097 sq. ft.) of freshwater wetlands and to 0.043 acres (1,856 sq. ft.) of transition area, and the temporary disturbance to 0.008 acres (350 sq. ft.) of freshwater wetlands and 0.003 acres (137 sq. ft.) of transition area for the removal of an existing stormwater pipe and the installation of a new stormwater pipe and outfall protection structure under a Freshwater Wetlands General Permit No. 11; and the permanent disturbance to 0.027 acres (1,186 sq. ft.) of transition area for the construction of a portion of the driveway and house under a Freshwater Wetlands Special Activity Transition Area Waiver for Redevelopment. Additionally, this permit authorizes the disturbance to 0.121 acres (5,242 sq. ft.) of transition area for the construction of a housing development and associated structures. This transition area reduction will be compensated by 0.120 acres (5,288 sq. ft.) of transition area under a Transition Area Waiver Averaging Plan.
2. N.J.A.C. 7:7A-8 in the Freshwater Wetlands Protection Act Rules discusses the conditions under which the standard transition area may be modified if the Department determines that the modification will result in minimal environmental impact and that the modified transition area will continue to feature the purposes and

functions set forth in N.J.A.C. 7:7A-3.3. Based upon a review of the submitted information, the Division of Land Use Regulation (Division) has determined that the proposed modified transition area as shown on the plans referenced below will continue to serve the functions of a transition area as detailed in the Act and implementing rules, provided that standard conditions set forth in section 7:7A-8 and all permit conditions are met.

3. The wetlands affected by this permit authorization are of **Intermediate** resource value and the standard transition area or buffer required adjacent to these wetlands is 50 feet. This general permit includes a transition area waiver, which allows encroachment only in that portion of the transition area, which has been determined by the Department to be necessary to accomplish the regulated activities. Any additional regulated activities conducted within the standard transition area on-site shall require a separate transition area waiver from the Division. Regulated activities within a transition area are defined at N.J.A.C. 7:7A-2.3. Please refer to the Freshwater Wetlands Protection Act (N.J.S.A. 13:9B-1 et seq.) and implementing rules (N.J.A.C. 7:7A) for additional information.
4. Regulated areas on site feature documented and suitable habitat for Indiana bat. In order to prevent adverse impacts to Indiana bat, the clearing of trees 5 inches diameter at breast height or greater may not occur on site from April 1 to September 30.
5. Although no work is proposed within the West Branch of Middle Brook, special caution shall be taken to protect the general game fisheries within said River between May 1 through July 31 of each calendar year. Furthermore, any proposed grading or construction activities which likely would introduce sediment into said watercourse or which could cause an increase in the natural level of turbidity is also prohibited anytime and especially during this period. The Department reserves the right to suspend all regulated activities on-site should it be determined that the applicant has not taken proper precautions to ensure continuous compliance with this condition.
6. The transition area shall not be reduced to less than 10 feet in width as shown on the referenced plan.
7. The permanently maintained clearing over the utility line shall be no wider than 20 feet.
8. Any excavation within the wetland or wetland transition area, shall be backfilled to the preexisting elevation and the uppermost 18 inches of the excavation shall be backfilled with the original topsoil material.
9. The applicant shall be responsible for ensuring that the back-filling activities do not interfere with the natural hydraulic characteristics of the wetland, such as flow characteristics of groundwater on the site.
10. Any pipes laid shall be properly sealed so as to prevent leaking or infiltration and designed so as not to form or provide a conduit for groundwater to be discharged or drained from the wetlands.
11. All temporary disturbances must be permanently discontinued within six months after they are begun, and all temporary disturbed areas must be restored to their original condition.
12. This authorization for a General Permit is valid for a term not to exceed five years from the date of this permit. If the permittee wishes to continue an activity covered by the permit after the expiration date of the permit, the permittee must apply for and obtain a permit extension or a new permit, prior to the permit's expiration. If the term of the authorization exceeds the expiration date of the general permit issued by rule, and the permit upon which the authorization is based is modified by rule to include more stringent standards or conditions, or is not reissued, the applicant must comply with the requirements of the new regulations by applying for a new GP authorization or an Individual permit.

STANDARD CONDITIONS:

1. The issuance of a permit shall in no way expose the State of New Jersey or the Department to liability for the sufficiency or correctness of the design of any construction or structure(s). Neither the State nor the Department

shall, in any way, be liable for any loss of life or property that may occur by virtue of the activity or project conducted as authorized under a permit.

2. The issuance of a permit does not convey any property rights or any exclusive privilege.
3. The permittee shall obtain all applicable Federal, State, and local approvals prior to commencement of regulated activities authorized under a permit.
4. The permittee will be responsible for the installation of a sediment barrier around all disturbed soils, which is sufficient to prevent the sedimentation of the remaining wetlands and transition area. In addition, a permittee conducting an activity involving soil disturbance, the creation of drainage structures, or changes in natural contours shall obtain any required approvals from the Soil Conservation District having jurisdiction over the site.
5. The permittee shall take all reasonable steps to prevent, minimize, or correct any adverse impact on the environment resulting from activities conducted pursuant to the permit, or from noncompliance with the permit.
6. The permittee shall immediately inform the Department by telephone at (877) 927-6337 (Warn DEP Hotline) of any noncompliance that may endanger the public health, safety, and welfare, or the environment. In addition, the permittee shall inform the Division of Land Use Regulation by telephone at (609) 777-0454 of any noncompliance within twelve hours of the time the permittee becomes aware of the noncompliance, and in writing within five working days of the time the permittee becomes aware of the noncompliance. Such notice shall not, however, serve as a defense to enforcement action if the project is found to be in violation of this chapter. The written notice shall include:
 - a. A description of the noncompliance and its cause;
 - b. The period of noncompliance, including exact dates and times;
 - c. If the noncompliance has not been corrected, the anticipated length of time it is expected to continue; and
 - d. The steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance.
7. It shall not be a defense for a permittee in an enforcement action that it would have been necessary to halt or reduce the authorized activity in order to maintain compliance with the conditions of the permit.
8. The permittee shall allow an authorized representative of the Department, upon the presentation of credentials, to:
 - a. Enter upon the permittee's premises where a regulated activity is located or conducted, or where records must be kept under the conditions of the permit;
 - b. Have access to and copy, at reasonable times, any records that must be kept under the conditions of the permit; and
 - c. Inspect at reasonable times any facilities, equipment, practices, or operations regulated or required under the permit. Failure to allow reasonable access under this paragraph shall be considered a violation of this chapter and subject the permittee to enforcement action.
9. The permittee and its contractors and subcontractors shall comply with all conditions, site plans, and supporting documents approved by the permit. Any noncompliance with a permit constitutes a violation of this chapter and is grounds for enforcement action under, as well as, in the appropriate case, suspension and/or termination of the permit.
10. All conditions, site plans, and supporting documents approved by a permit shall remain in full force and effect so long as the regulated activity or project, or any portion thereof, is in existence, unless the permit is modified.
11. If any condition or permit is determined to be legally unenforceable, modifications and additional conditions may be imposed by the Department as necessary to protect public health, safety, and welfare, or the environment.
12. A copy of the permit and all approved site plans and supporting documents shall be maintained at the site at all times and made available to Department representatives or their designated agents immediately upon request.

13. A permit shall be transferred to another person only in accordance with the regulations N.J.A.C. 7:7A-20.5.
14. A permit can be suspended or terminated by the Department for cause as specified at N.J.A.C. 7:7A-20.8 and 20.9.
15. The submittal of a request to modify a permit by the permittee, or a notification of planned changes or anticipated noncompliance, does not stay any condition of a permit.
16. Where the permittee becomes aware that it failed to submit any relevant facts in an application or submitted incorrect information in an application or in any report to the Department, it shall promptly submit such facts or information.
17. The permittee shall submit written notification to the Bureau of Coastal and Land Use Compliance and Enforcement, 401 East State Street, 4th Floor, P.O. Box 420, Mail Code 401-04C, Trenton, NJ 08625, seven days prior to the commencement of site preparation or of regulated activities, whichever comes first. The notification shall contain proof of recording of a conservation restriction or easement, if one was required as part of the permit.
18. The permittee shall not cause or allow any unreasonable interference with the free flow of a regulated water by placing or dumping any materials, equipment, debris, or structures within or adjacent to the channel while the regulated activity(ies) is being undertaken. Upon completion of the regulated activity(ies), the permittee shall remove and dispose of in a lawful manner; all excess materials, debris, equipment, and silt fences and other temporary soil erosion and sediment control devices from all regulated areas.
19. The regulated activity shall not destroy, jeopardize, or adversely modify a present or documented habitat for threatened or endangered species, and shall not jeopardize the continued existence of any local population of a threatened or endangered species.
20. Best management practices as defined at N.J.A.C. 7:7A-1.3, shall be followed whenever applicable.
21. If the permittee, before or during the work authorizes, encounters a possible historic property, as described at N.J.A.C. 7:7A-19.5(l), that is or may be eligible for listing in the New Jersey or National Register, the permittee shall preserve the resource and immediately notify the Department and proceed as directed.
22. The permittee shall record the permit, including all conditions listed therein, with the Office of the County Clerk (the Registrar of Deeds and Mortgages, if applicable) of each county in which the site is located. The permit shall be recorded within 30 calendar days of receipt by the permittee, unless the permit authorizes activities within two or more counties, in which case the permit shall be recorded within 90 calendar days of receipt. Upon completion of all recording, a copy of the recorded permit shall be forwarded to the Division of Land Use Regulation at the address set forth at N.J.A.C. 7:7A-1.4.

APPROVED PLANS:

The drawing hereby approved is one (1) sheet, prepared by Michael K. Ford, P.E. of Van Cleef Engineering Associates, dated December 6, 2018, last revised November 26, 2019, and entitled:

“NJDEP PERMIT PLAN FOR BLOCK 653, LOTS 36 & 37, SITUATED IN BRIDGEWATER TOWNSHIP, SOMERSET COUNTY, NEW JERSEY”.


APPEAL OF DECISION:

In accordance with N.J.A.C. 7:7A-21, any person who is aggrieved by this decision may request a hearing within 30 days of the date the decision is published in the DEP Bulletin by writing to: New Jersey Department of Environmental Protection, Office of Legal Affairs, Attention: Adjudicatory Hearing Requests, Mail Code 401-04L, P.O. Box 402, 401

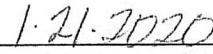
East State Street, 7th Floor, Trenton, NJ 08625-0402. This request must include a completed copy of the Administrative Hearing Request Checklist found at www.state.nj.us/dep/landuse/forms. Hearing requests received after 30 days of publication notice may be denied. The DEP Bulletin is available on the Department's website at www.state.nj.us/dep/bulletin. In addition to your hearing request, you may file a request with the Office of Dispute Resolution to engage in alternative dispute resolution. Please see the website www.nj.gov/dep/odr for more information on this process.

If you need clarification on any section of this permit or conditions, please contact the Division of Land Use Regulation's Technical Support Call Center at (609) 777-0454.

Approved By:



Rebecca Grike, Environmental Specialist III
Division of Land Use Regulation

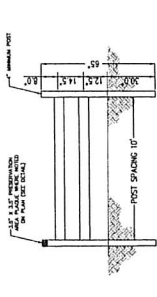


Date

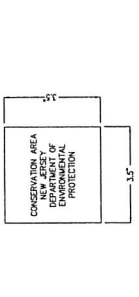
Original sent to Agent to record-Edward A. Kuc of ESEA, Inc.
c: Permittee
Bridgewater Township Construction Official

PROPERTY OWNERS WITHIN 200'

OWNER NAME	ADDRESS	PHONE	EMAIL
101	101 W. MAIN ST.	732-234-5678	owner1@domain.com
102	102 W. MAIN ST.	732-234-5679	owner2@domain.com
103	103 W. MAIN ST.	732-234-5680	owner3@domain.com
104	104 W. MAIN ST.	732-234-5681	owner4@domain.com
105	105 W. MAIN ST.	732-234-5682	owner5@domain.com
106	106 W. MAIN ST.	732-234-5683	owner6@domain.com
107	107 W. MAIN ST.	732-234-5684	owner7@domain.com
108	108 W. MAIN ST.	732-234-5685	owner8@domain.com
109	109 W. MAIN ST.	732-234-5686	owner9@domain.com
110	110 W. MAIN ST.	732-234-5687	owner10@domain.com
111	111 W. MAIN ST.	732-234-5688	owner11@domain.com
112	112 W. MAIN ST.	732-234-5689	owner12@domain.com
113	113 W. MAIN ST.	732-234-5690	owner13@domain.com
114	114 W. MAIN ST.	732-234-5691	owner14@domain.com
115	115 W. MAIN ST.	732-234-5692	owner15@domain.com
116	116 W. MAIN ST.	732-234-5693	owner16@domain.com
117	117 W. MAIN ST.	732-234-5694	owner17@domain.com
118	118 W. MAIN ST.	732-234-5695	owner18@domain.com
119	119 W. MAIN ST.	732-234-5696	owner19@domain.com
120	120 W. MAIN ST.	732-234-5697	owner20@domain.com
121	121 W. MAIN ST.	732-234-5698	owner21@domain.com
122	122 W. MAIN ST.	732-234-5699	owner22@domain.com
123	123 W. MAIN ST.	732-234-5700	owner23@domain.com
124	124 W. MAIN ST.	732-234-5701	owner24@domain.com
125	125 W. MAIN ST.	732-234-5702	owner25@domain.com
126	126 W. MAIN ST.	732-234-5703	owner26@domain.com
127	127 W. MAIN ST.	732-234-5704	owner27@domain.com
128	128 W. MAIN ST.	732-234-5705	owner28@domain.com
129	129 W. MAIN ST.	732-234-5706	owner29@domain.com
130	130 W. MAIN ST.	732-234-5707	owner30@domain.com
131	131 W. MAIN ST.	732-234-5708	owner31@domain.com
132	132 W. MAIN ST.	732-234-5709	owner32@domain.com
133	133 W. MAIN ST.	732-234-5710	owner33@domain.com
134	134 W. MAIN ST.	732-234-5711	owner34@domain.com
135	135 W. MAIN ST.	732-234-5712	owner35@domain.com
136	136 W. MAIN ST.	732-234-5713	owner36@domain.com
137	137 W. MAIN ST.	732-234-5714	owner37@domain.com
138	138 W. MAIN ST.	732-234-5715	owner38@domain.com
139	139 W. MAIN ST.	732-234-5716	owner39@domain.com
140	140 W. MAIN ST.	732-234-5717	owner40@domain.com
141	141 W. MAIN ST.	732-234-5718	owner41@domain.com
142	142 W. MAIN ST.	732-234-5719	owner42@domain.com
143	143 W. MAIN ST.	732-234-5720	owner43@domain.com
144	144 W. MAIN ST.	732-234-5721	owner44@domain.com
145	145 W. MAIN ST.	732-234-5722	owner45@domain.com
146	146 W. MAIN ST.	732-234-5723	owner46@domain.com
147	147 W. MAIN ST.	732-234-5724	owner47@domain.com
148	148 W. MAIN ST.	732-234-5725	owner48@domain.com
149	149 W. MAIN ST.	732-234-5726	owner49@domain.com
150	150 W. MAIN ST.	732-234-5727	owner50@domain.com
151	151 W. MAIN ST.	732-234-5728	owner51@domain.com
152	152 W. MAIN ST.	732-234-5729	owner52@domain.com
153	153 W. MAIN ST.	732-234-5730	owner53@domain.com
154	154 W. MAIN ST.	732-234-5731	owner54@domain.com
155	155 W. MAIN ST.	732-234-5732	owner55@domain.com
156	156 W. MAIN ST.	732-234-5733	owner56@domain.com
157	157 W. MAIN ST.	732-234-5734	owner57@domain.com
158	158 W. MAIN ST.	732-234-5735	owner58@domain.com
159	159 W. MAIN ST.	732-234-5736	owner59@domain.com
160	160 W. MAIN ST.	732-234-5737	owner60@domain.com
161	161 W. MAIN ST.	732-234-5738	owner61@domain.com
162	162 W. MAIN ST.	732-234-5739	owner62@domain.com
163	163 W. MAIN ST.	732-234-5740	owner63@domain.com
164	164 W. MAIN ST.	732-234-5741	owner64@domain.com
165	165 W. MAIN ST.	732-234-5742	owner65@domain.com
166	166 W. MAIN ST.	732-234-5743	owner66@domain.com
167	167 W. MAIN ST.	732-234-5744	owner67@domain.com
168	168 W. MAIN ST.	732-234-5745	owner68@domain.com
169	169 W. MAIN ST.	732-234-5746	owner69@domain.com
170	170 W. MAIN ST.	732-234-5747	owner70@domain.com
171	171 W. MAIN ST.	732-234-5748	owner71@domain.com
172	172 W. MAIN ST.	732-234-5749	owner72@domain.com
173	173 W. MAIN ST.	732-234-5750	owner73@domain.com
174	174 W. MAIN ST.	732-234-5751	owner74@domain.com
175	175 W. MAIN ST.	732-234-5752	owner75@domain.com
176	176 W. MAIN ST.	732-234-5753	owner76@domain.com
177	177 W. MAIN ST.	732-234-5754	owner77@domain.com
178	178 W. MAIN ST.	732-234-5755	owner78@domain.com
179	179 W. MAIN ST.	732-234-5756	owner79@domain.com
180	180 W. MAIN ST.	732-234-5757	owner80@domain.com
181	181 W. MAIN ST.	732-234-5758	owner81@domain.com
182	182 W. MAIN ST.	732-234-5759	owner82@domain.com
183	183 W. MAIN ST.	732-234-5760	owner83@domain.com
184	184 W. MAIN ST.	732-234-5761	owner84@domain.com
185	185 W. MAIN ST.	732-234-5762	owner85@domain.com
186	186 W. MAIN ST.	732-234-5763	owner86@domain.com
187	187 W. MAIN ST.	732-234-5764	owner87@domain.com
188	188 W. MAIN ST.	732-234-5765	owner88@domain.com
189	189 W. MAIN ST.	732-234-5766	owner89@domain.com
190	190 W. MAIN ST.	732-234-5767	owner90@domain.com
191	191 W. MAIN ST.	732-234-5768	owner91@domain.com
192	192 W. MAIN ST.	732-234-5769	owner92@domain.com
193	193 W. MAIN ST.	732-234-5770	owner93@domain.com
194	194 W. MAIN ST.	732-234-5771	owner94@domain.com
195	195 W. MAIN ST.	732-234-5772	owner95@domain.com
196	196 W. MAIN ST.	732-234-5773	owner96@domain.com
197	197 W. MAIN ST.	732-234-5774	owner97@domain.com
198	198 W. MAIN ST.	732-234-5775	owner98@domain.com
199	199 W. MAIN ST.	732-234-5776	owner99@domain.com
200	200 W. MAIN ST.	732-234-5777	owner100@domain.com



NOTE: 1. SOIL TO BE ALUMINA WITH GREY LETTERING ON WHITE BACKGROUND
CONSERVATION SOIL BULK DENSITY 1.50 TO 1.60



NOTE: 1. SOIL TO BE ALUMINA WITH GREY LETTERING ON WHITE BACKGROUND
CONSERVATION SOIL BULK DENSITY 1.50 TO 1.60

GENERAL PERMIT
DISTURBANCE, 0.04 AC.
SPECIAL ACTIVITY REDEVELOPMENT WATER TRANSITION AREA DISTURBANCE 0.027 AC.
AREA DISTURBANCE 0.043 AC.
TOTAL TRANSITION AREA = 0.110 AC.
TOTAL ADDITIONAL COMPENSATION = 0.110 AC.

WETLAND PERMITTING/PROVISIONS SUBJECT TO NEOP APPROVAL:
EXISTING WETLAND BUFFER LIMIT
PROPOSED BUILT-UP BUFFER LIMIT
CONSERVATION SOIL BULK DENSITY



WETLAND BUFFER COMPENSATION AREA 1 LINE TABLE

Line #	Length	Direction
L1	32.52	N23° 08' 41.08" W
L2	13.92	S60° 21' 06.98" W
L3	24.10	S63° 43' 03.01" E
L4	13.70	S55° 30' 38.13" E
L5	13.70	S40° 05' 42.97" E

WETLAND BUFFER COMPENSATION AREA 2 LINE TABLE

Line #	Length	Direction
L6	24.73	N63° 27' 24.99" W
L7	27.22	S73° 37' 45.15" W
L8	17.84	S65° 12' 45.99" W
L9	16.47	S26° 54' 23.45" E
L10	13.73	N81° 06' 16.77" E
L11	36.31	N73° 58' 33.82" E
L12	10.32	N63° 00' 38.10" E

WETLAND BUFFER COMPENSATION AREA 3 LINE TABLE

Line #	Length	Direction
L13	9.73	N60° 23' 32.24" W
L14	61.30	N29° 36' 27.96" E
L15	34.61	N42° 28' 07.29" E
L16	3.98	N11° 13' 03.50" E
L17	17.00	S78° 46' 56.50" E
L18	8.74	S11° 13' 03.50" W
L19	37.45	S42° 38' 02.99" W
L20	47.30	S29° 36' 27.96" W
L21	14.10	S60° 38' 35.28" W

WETLAND BUFFER COMPENSATION AREA 4 LINE TABLE

Line #	Length	Direction
L22	25.86	N42° 00' 24.14" E
L23	21.31	N32° 08' 59.72" W
L24	29.54	N14° 14' 50.28" W
L25	19.70	N46° 07' 16.98" W
L26	33.14	N37° 33' 59.97" W
L27	17.36	N27° 34' 43.87" W
L28	17.19	S57° 21' 33.50" W
L29	9.40	S84° 33' 42.53" E
L30	56.30	S26° 06' 48.13" E
L31	30.24	S13° 39' 19.81" E
L32	33.15	S33° 08' 59.72" E



APPROVED
Michael K. Ford
Professional Engineer
No. 44722
State of New Jersey

PLAN REFERENCES:
1. PROSPECT AND PAUL SANDROVICH, PROPOSED FOR TOWNSHIP OF BRIDGEWATER, SOMERSET COUNTY, NEW JERSEY, AS PROPOSED BY VAN CREEF ENGINEERING ASSOCIATES, DATED SEPTEMBER 9, 2008
2. WETLANDS LOCATION PLAN, LOTS 8 & 12 BLOCK 663, TOWNSHIP OF BRIDGEWATER, SOMERSET COUNTY, NEW JERSEY, AS PROPOSED BY VAN CREEF ENGINEERING ASSOCIATES, DATED DECEMBER 6, 2010
3. WETLANDS LOCATION PLAN, LOTS 8 & 12 BLOCK 663, TOWNSHIP OF BRIDGEWATER, SOMERSET COUNTY, NEW JERSEY, AS PROPOSED BY VAN CREEF ENGINEERING ASSOCIATES, DATED DECEMBER 6, 2010

DATE	REVISIONS
11-26-19	REVISED PER PLAN
10-18-19	REVISED BUFFER AVERAGING
9-3-19	REVISED BUFFER AVERAGING
2-12-19	REVISED BUFFER AVERAGING
	REVISIONS

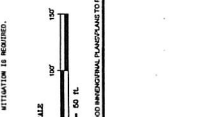
PERMIT	DATE	JOB NO.
REVISED PER PLAN	11-26-19	5002
REVISED BUFFER AVERAGING	10-18-19	
REVISED BUFFER AVERAGING	9-3-19	
REVISED BUFFER AVERAGING	2-12-19	
REVISIONS		

WETLAND TRANSITION AREA 1 AVERAGING
EXISTING STAMPAW TRANSITION AREA = 21,148 SF
REDUCTION AREA = 2,716 S.F., TOTAL
COMPENSATION AREA = 2,800 S.F., TOTAL
TO BE RESTORED = 6,516 S.F., TOTAL
TOTAL ADDITIONAL COMPENSATION = 12 S.F.
TOTAL TRANSITION AREA = 21,160 SF

WETLAND TRANSITION AREA 2 AVERAGING
EXISTING STAMPAW TRANSITION AREA = 23,208 SF
REDUCTION AREA = 2,476 S.F., TOTAL
COMPENSATION AREA = 2,488 S.F., TOTAL
TO BE RESTORED = 6,200 S.F., TOTAL
TOTAL ADDITIONAL COMPENSATION = 12 S.F.
TOTAL TRANSITION AREA = 23,200 SF

PERMIT AREAS
DISTURBANCE TO WETLANDS
DISTURBANCE TO WETLANDS
DISTURBANCE TO WETLANDS
DISTURBANCE TO WETLANDS
TOTAL DISTURBANCE TO WETLANDS = 12.11 AC.
TOTAL ADDITIONAL COMPENSATION = 12 S.F.

WETLAND PERMIT PLAN
BLOCK 663, LOTS 8 & 12
BRIDGEWATER TOWNSHIP,
SOMERSET COUNTY, NEW JERSEY



Scale 1 inch = 50 ft.
DRAWING SCALES
Scale 1 inch = 50 ft.

DATE: DECEMBER 6, 2010
DRAWN BY: P.C.
CHECKED BY: P.C.
JOB NO. 5002

BY: Michael K. Ford
Professional Engineer
No. 44722

UNDEVELOPED WETLANDS TO BE RESTORED TO ORIGINAL CONDITION

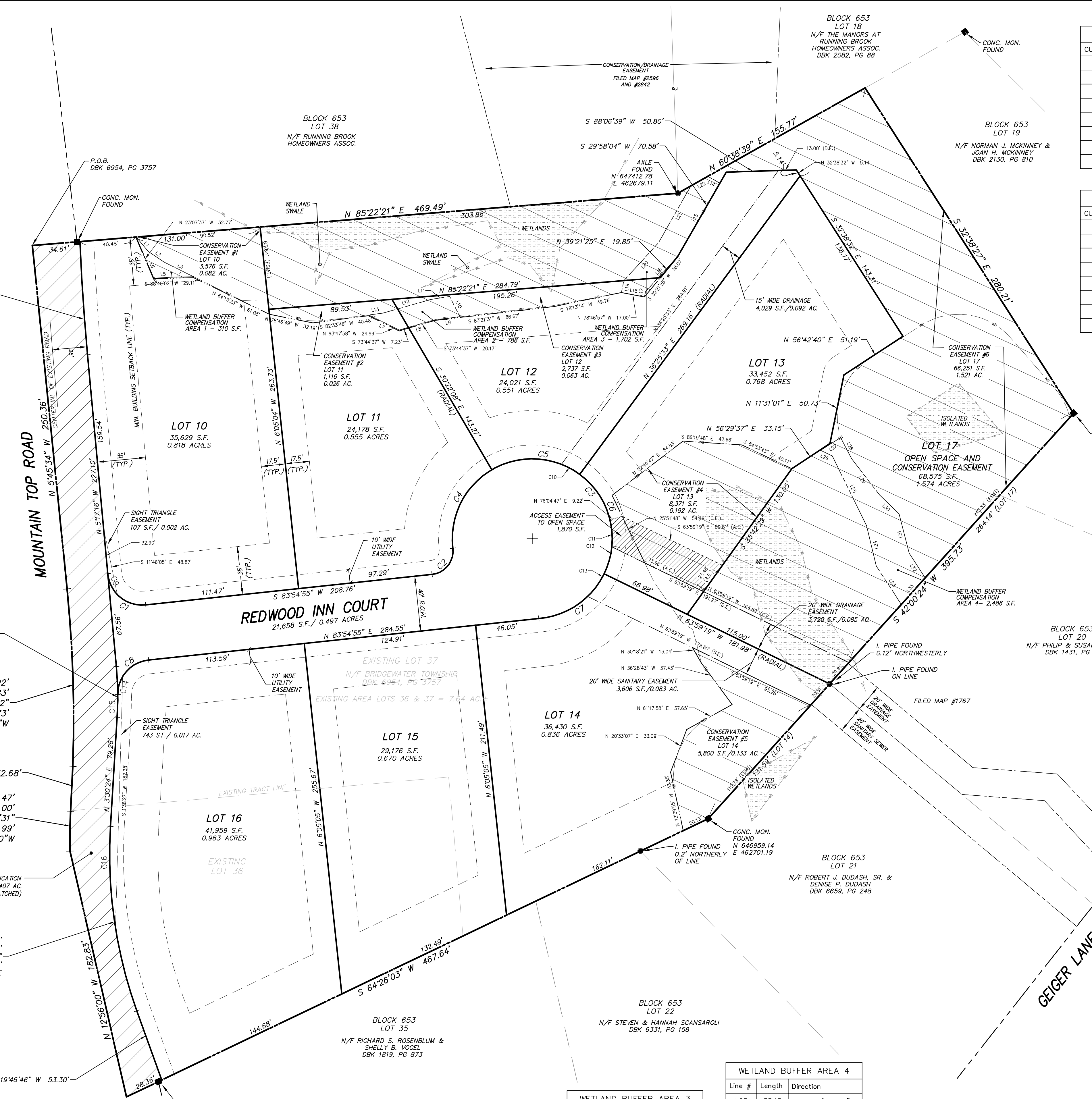
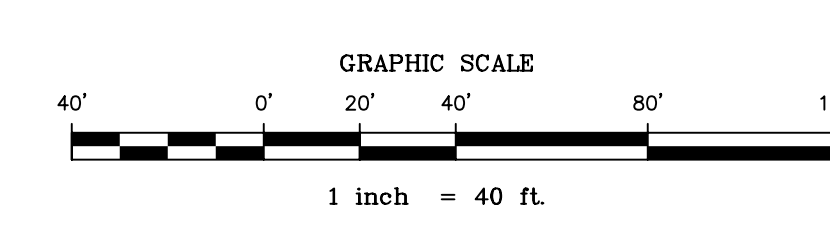
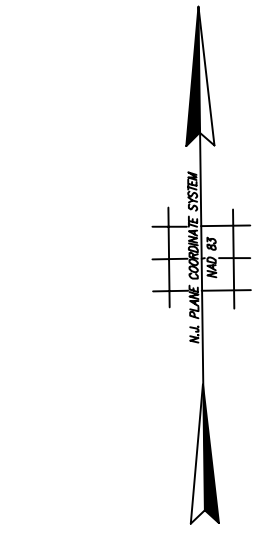
UNDEVELOPED WETLANDS TO BE RESTORED TO ORIGINAL CONDITION

UNDEVELOPED WETLANDS TO BE RESTORED TO ORIGINAL CONDITION

UNDEVELOPED WETLANDS TO BE RESTORED TO ORIGINAL CONDITION

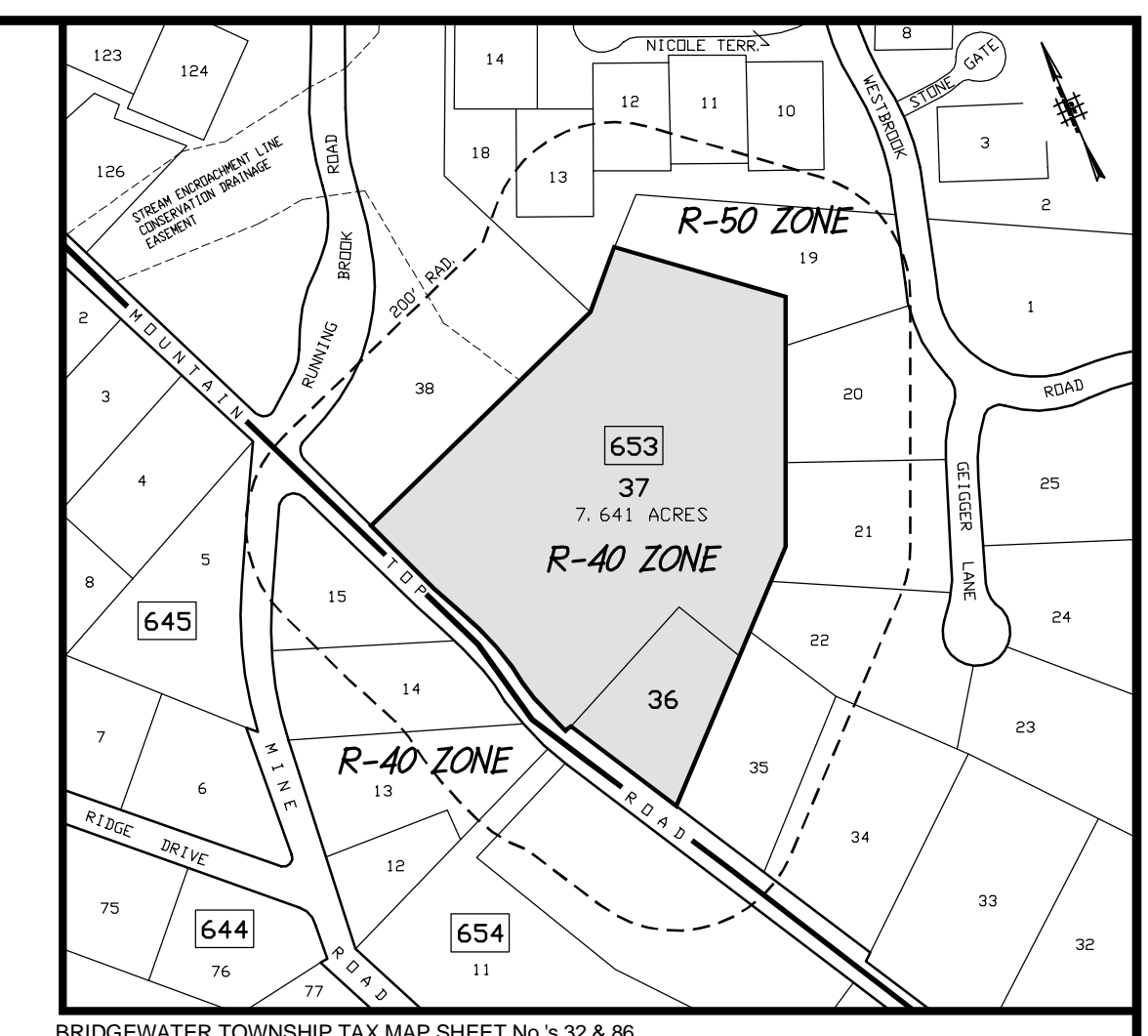
UNDEVELOPED WETLANDS TO BE RESTORED TO ORIGINAL CONDITION

F:\Jobfile\5902 Redwood Inn\ENG\FINAL PLANS\PLANS TO PRINT\FINAL PLAT & PRELIMINARY (6-8-20).dwg



CURVE NO.	RADIUS	LENGTH	DELTA	CHORD LENGTH	CHORD DIRECTION
C1	25.00'	39.62'	90°47'50"	35.60'	N 50°41'10" W
C2	17.00'	26.93'	90°44'59"	24.20'	N 38°32'25" W
C3	58.00'	275.48'	272°08'34"	80.47'	N 50°45'47" W
C4	58.00'	67.28'	66°27'56"	63.57'	S 26°23'54" W
C5	58.00'	67.61'	66°47'41"	63.85'	N 86°58'17" W
C6	58.00'	80.56'	79°35'00"	74.24'	N 13°46'57" W
C7	58.00'	60.03'	59°17'57"	57.38'	S 55°39'32" W
C8	25.00'	36.80'	84°20'23"	33.57'	S 41°44'42" W

CURVE NO.	RADIUS	LENGTH	DELTA	CHORD LENGTH	CHORD DIRECTION
C9	25.00'	16.93'	38°47'50"	16.61'	S 24°41'10" E
C10	58.00'	15.17'	14°59'19"	15.13'	N 61°04'06" W
C11	58.00'	20.00'	19°45'28"	19.90'	N 4°02'30" W
C12	58.00'	20.42'	20°10'19"	20.31'	N 15°55'24" E
C13	58.00'	20.42'	20°10'22"	20.31'	N 36°05'42" E
C14	25.00'	13.68'	31°21'43"	13.51'	N 15°15'22" E
C15	240.00'	16.47'	3°55'58"	16.47'	N 1°32'25" E
C16	335.00'	73.93'	12°38'39"	73.78'	N 2°48'55" W



BRIDGEWATER TOWNSHIP TAX MAP SHEET No. 32 & 86
KEY MAP
SCALE: 1" = 300'

I HEREBY CERTIFY THAT I AM THE RECORDED TITLE OWNER OF THE LANDS BEING SUBDIVIDED AND THIS MAP IS IN ACCORDANCE WITH THE FREE CONSENT AND EXPRESS DESIRES OF THE OWNERS AND THAT WE ALSO CONSENT TO THE FILING THEREOF.

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND LAND SURVEY DATED JULY 20, 2017 HAS BEEN MADE UNDER MY IMMEDIATE SUPERVISION AND MEETS THE MINIMUM SURVEY DETAIL REQUIREMENTS, WITH OUTBOUND CORNER MARKERS, PROMULGATED BY THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND COMPLIES WITH THE PROVISIONS OF "THE MAP FILING LAW" AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN SET.

BRIDGEWATER TOWNSHIP
100 COMMONS WAY
BRIDGEWATER, NJ 08807
908-725-6300

PAMELA MATHEWS
JERSEY PROFESSIONAL ENGINEER AND LAND SURVEYOR NO. 4181
VAN CLEEF ENGINEERING ASSOCIATES
32 BROWER LANE, HILLSBOROUGH, NJ 08844
908-359-8291

SWORN AND SUBSCRIBED TO ME THIS _____ DAY OF _____

I HEREBY CERTIFY THAT THIS MAP HAS BEEN APPROVED AS A MAJOR SUBDIVISION BY THE BOARD OF THE TOWNSHIP OF BRIDGEWATER THIS MAP SHALL BE FILED IN THE SOMERSET COUNTY CLERK'S OFFICE ON OR BEFORE THE _____ DAY OF _____, 20____, WHICH DATE IS 95 DAYS FROM THE DATE BELOW.

I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF "THE MAP FILING LAW," RESOLUTION OF APPROVAL AND MUNICIPAL ORDINANCES AND REQUIREMENTS APPLICABLE THERETO.

LINDA DOYLE
TOWNSHIP CLERK

WILLIAM H. BURR, IV, P.E.
BOARD AND TOWNSHIP ENGINEER

I CERTIFY THAT ALL NEW STREETS AND EASEMENTS SHOWN HEREON HAVE BEEN APPROVED BY THE PLANNING BOARD AND THAT BONDS HAVE BEEN GIVEN TO THE TOWNSHIP GUARANTEEING THE COMPLETION OF IMPROVEMENTS TO SAME.

THE BRIDGEWATER TOWNSHIP BOARD HAS GRANTED FINAL APPROVAL OF THIS SUBDIVISION PER RESOLUTION ADOPTED _____

LINDA DOYLE
TOWNSHIP CLERK

ALAN FROSS
BOARD CHAIRMAN

THE MONUMENTS SHOWN ON THIS MAP SHALL BE SET WITHIN AN APPROPRIATE TIME LIMIT AS PROVIDED FOR IN THE MUNICIPAL LAND USE LAW, P.L. 1975, c.291 (C.40:550-1 et seq.) I HEREBY CERTIFY THAT A BOND HAS BEEN GIVEN TO THE MUNICIPALITY GUARANTEEING THE FUTURE SETTING OF THE MONUMENTS SHOWN ON THIS MAP AND SO DESIGNATED.

SCARLETT DOYLE
BOARD SECRETARY

LINDA DOYLE
TOWNSHIP CLERK

AREAS SUMMARY:

THIS PLAT COMPLIES WITH REVISED NEW JERSEY STATUTES 40:27-1 THROUGH 40:27-8.13.

MOUNTAIN ROAD DEDICATION	0.407 ACRES
REDWOOD INN COURT DEDICATION	0.497 ACRES
7 (SEVEN) RESIDENTIAL LOTS	5.163 ACRES
OPEN SPACE LOT	1.574 ACRES
LANDS TOTAL:	7.641 ACRES

SOMERSET COUNTY PLANNING BOARD

GENERAL NOTES:

1. DENOTES MONUMENT TO BE SET
2. ALL 10" WIDE UNDERGROUND UTILITY EASEMENTS ARE DEDICATED TO THE LOCAL UTILITY COMPANIES.
3. ALL SANITARY SEWER EASEMENTS ARE DEDICATED TO THE TOWNSHIP OF BRIDGEWATER.
4. STATE PLANE COORDINATES ARE AT GROUND LEVEL.
5. STATE PLANE COORDINATES BASED ON GPS OBSERVATIONS - NAD83.
6. SIGHT TRIANGLE EASEMENTS ARE SUBJECT TO GRADING, PLANTING, AND CONSTRUCTION RESTRICTIONS AS PROVIDED FOR IN THE TOWNSHIP DEVELOPMENT REGULATIONS ORDINANCE.
7. THIS PLAN IS BASED ON MAP ENTITLED "PROPERTY SURVEY FOR BLOCK 653, LOTS 36 & 37 BY VAN CLEEF ENGINEERING ASSOCIATES DATED JULY 20, 2017.

Line #	Length	Direction
L23	33.15	N33° 08' 59.72"W
L24	30.24	N13° 39' 19.81"W
L25	56.30	N26° 06' 48.13"W
L26	9.40	N64° 33' 42.53"W
L27	17.19	N57° 21' 28.30"E
L28	17.36	S27° 34' 43.67"E
L29	33.14	S37° 33' 59.87"E
L30	19.70	S46° 07' 16.98"E
L31	29.54	S14° 14' 50.28"E
L32	21.31	S33° 08' 59.72"E
L33	25.86	S42° 00' 24.14"W

EASEMENT #	LOT #	S.F.	ACRES
1	10	3,576	0.082
2	11	1,116	0.026
3	12	2,737	0.063
4	13	8,371	0.192
5	14	5,800	0.133
6	17	66,251	1.521
TOTAL:		87,852	2.017

Line #	Length	Direction
L14	9.73	S60° 23' 32.24"E
L15	61.30	S29° 36' 27.76"W
L16	34.61	S42° 28' 07.29"W
L17	3.98	S11° 13' 03.50"W
L18	17.00	N78° 46' 56.50"W
L19	8.74	N11° 13' 03.50"E
L20	37.45	N42° 28' 07.29"E
L21	47.30	N29° 36' 27.76"E
L22	14.10	N60° 38' 35.28"E

Line #	Length	Direction
L7	24.73	S63° 47' 24.99"E
L8	27.22	N73° 57' 45.15"E
L9	17.94	N83° 12' 45.99"E
L10	16.47	N26° 54' 23.45"E
L11	13.73	S81° 06' 16.17"W
L12	36.31	S73° 58' 33.82"W
L13	10.32	S83° 00' 38.10"W

Line #	Length	Direction
L1	13.70	S40° 05' 42.67"E
L2	13.70	S55° 50' 38.13"E
L3	24.10	S63° 43' 02.01"E
L4	15.10	S89° 20' 36.40"W
L5	13.92	S86° 21' 06.86"W
L6	32.52	N23° 08' 41.68"W

Final Plat
 prepared for
Block 653 Lots 36 & 37
 situated in
Bridgewater Township, Somerset County, New Jersey
 prepared by
Van Cleef Engineering Associates, LLC
 Central New Jersey Regional Office
 P.O. Box 5877
32 Brower Lane, Hillsborough Township, New Jersey
 dated
December 11, 2018 May 28, 2020
February 19, 2019 June 8, 2020
September 12, 2019
November 15, 2019

PRELIMINARY & FINAL SUBDIVISION

PREPARED FOR

TOWNSHIP OF BRIDGEWATER BLOCK 653 LOTS 36 & 37 BRIDGEWATER TOWNSHIP, SOMERSET COUNTY, NEW JERSEY

PROPERTY OWNERS WITHIN 200'

TAXING DISTRICT	ADJACENT BRIDGEWATER TWP	PROPERTY LISTING	APPLICANT: B- 653 L- 37 (add'l lot 36) : COUNTY 18 SOMERSET
PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS
645	821 MINE ROAD	2	LASPINA, NICHOLAS & RONNIE 821 MINE RD BRIDGEWATER, NJ 08807.1819
653	59 NICOLE TERR.	2	YUKNIS, GERALD M & MARY M 59 NICOLE TER BRIDGEWATER, NJ 08807.1453
653	60 NICOLE TERR.	2	BROOKNER, JEFFREY J & CARRIE 60 NICOLE TER BRIDGEWATER, NJ 08807.1453
653	61 NICOLE TERR.	2	KLUG, MICHELE 61 NICOLE TER BRIDGEWATER, NJ 08807.1453
653	62 NICOLE TERR.	2	COSTAS, JULIAN F JR & VARITA 62 NICOLE TER BRIDGEWATER, NJ 08807.1453
653	COMMON AREA	1	MANORS @ RUNNING BROOK HOMEOWNERS PO BOX 6676 BRIDGEWATER, NJ 08807.0676
653	1095 WEST BROOK ROAD	2	MCKINNEY, NORMAN J. & JOAN H. 1095 WESTBROOK RD BRIDGEWATER, NJ 08807.1419
653	1097 WEST BROOK ROAD	2	RINALDI, PHILIP & SUGAN 1097 WESTBROOK RD BRIDGEWATER, NJ 08807.1419
653	1200 GEIGER LANE	2	DUDASH, ROBERT J SR & DENISE P 1200 GEIGER LANE BRIDGEWATER, NJ 08807
653	1202 GEIGER LANE	2	SCANSAROLI, STEVEN & HANNAH 1202 GEIGER LN BRIDGEWATER, NJ 08807.1404
653	1499 MOUNTAIN TOP ROAD	2	SUTTIPAYAKUL, EMORN O 1499 MOUNTAIN TOP RD BRIDGEWATER, NJ 08807.1836
653	1491 MOUNTAIN TOP ROAD	2	ROSENBLUM, RICHARD & VOGEL, S. 1491 MOUNTAIN TOP RD BRIDGEWATER, NJ 08807.1836
653	PAPEN RD. COMMON AREA	1	RUNNING BROOK HOMEOWNERS ASSOC. 67 GRANDNER CT BRIDGEWATER, NJ 08807.1450
654	1400 MOUNTAIN TOP ROAD	2	GLANZ, AMANDA B 1400 MOUNTAIN TOP RD BRIDGEWATER, NJ 08807.1842
654	808 MINE RD.	2	YONEZUKA-BROWN, RICHARD & ANASTASIA 808 MINE RD BRIDGEWATER, NJ 08807.1820
654	816 MINE ROAD	2	DEBARI, GIOVANNI M & ANGELA 816 MINE RD BRIDGEWATER, NJ 08807.1820
654	826 MINE ROAD	2	OROZCO, WILSON & KIM MARIE 826 MINE RD BRIDGEWATER, NJ 08807.1820
654	1500 MOUNTAIN TOP RD.	2	KHAN, AMBER M & TARIK HALEEM 1500 MOUNTAIN TOP RD BRIDGEWATER, NJ 08807

§ 126-243.1. Construction mitigation measures. [Added 11-18-1991 by Ord. No. 91-33; amended 6-8-2006 by Ord. No. 06-32]

It is hereby mandated that the requirements of Subsections A through O delineated hereinafter shall be listed and placed directly on all major subdivision and site construction plans.

A. The soil erosion and sediment control plan shall remain in full force and effect during the course of construction of the entire project. Failure to comply with the soil erosion and sediment control plans shall result in a work stoppage until the conditions are corrected and the plan reimplemented.

B. Additionally, the following construction mitigation practices shall be required on site:

- (1) Anti-vandalism horns on equipment shall be eliminated.
- (2) Prohibited times and practices. [Amended 8-16-1993 by Ord. No. 93-25]

(a) The excavation, grading, paving, erection, demolition, alteration or repair of any premises, street, building or structure is prohibited at any time on Sundays, national holidays or other than between the hours of 8:00 a.m. and 4:00 p.m. on Saturdays or between the hours of 7:30 a.m. and 6:00 p.m. on all other days, except in the case of urgent necessity in the interest of public health, welfare and safety, and then only in accordance with an approval first obtained from the Township Engineer, related to land clearing and grading, drainage, sewer and water utilities and public improvement work, or from the Township Code Enforcement Official as to other work. Such approval may be granted for a period not to exceed three days or less while the emergency continues. The provisions of this section shall not apply to interior or exterior repairs or to interior alterations, the work for which is actually performed by a homeowner or occupant, personally, between the hours of 8:00 a.m. and 10:00 p.m. upon residential premises, provided that the work shall be done without undue noise or disturbance of the peace and quiet of the neighborhood.

(b) The excavation, grading, paving, erection, demolition, alteration or repair of any premises, street, building or structure is prohibited if the effect of such work or any activity connected with such work is to cause noise, fumes, smoke or dust, which produces a deleterious effect beyond the boundaries and perimeter of the site from which it is emanating. [Amended 12-20-1993 by Ord. No. 93-34]

(3) Anti-litter regulations shall be imposed on site.

(4) The applicant shall establish regulations for the safe and proper transfer and transport of fuel on site.

(5) Truck mats shall be located by the Soil Erosion Control Officer in conjunction with the Township Engineer in such places as to minimize the tracking of dirt and mud onto the traveled roads. The mats shall be maintained and altered as necessary to achieve the required results.

(6) Cleanup and washdown of trucks and equipment shall be required before leaving the construction site. The developer shall provide sufficient laborers and equipment to control tracking at all active exits from the site.

(7) Adequate provisions for safe control of employee parking, including employees of the contractor and subcontractors, shall be required on site during construction.

(8) Violations of any of these construction mitigation measures shall result in a stop-work order, which order shall remain in full force and effect until the condition is remedied to the satisfaction of the Township Engineer.

C. Prior to construction, including site work activity, a preconstruction meeting shall be required to include the Township representatives, the applicant and its engineers and contractors. The preconstruction meeting shall not be held until a copy of the engineer's opinion of probable cost has been submitted to the municipality for computation of engineering inspection fees and for a determination of performance bonds and said fees and bonds have been submitted and approved by the Township Attorney. Nine sets of plans containing all corrections, additions and deletions required by the approving Board and all other prior approval permits shall be provided at least 10 days prior to the preconstruction meeting. Copies of all permits from the federal, state and county agencies shall be provided to the township at the meeting.

D. All nondisturbed areas on site shall be demarcated by snow fence during construction, and the snow fence shall be installed on site prior to any construction activity including site work. A violation of the nondisturbed areas will result in a stop-work order for that area affected by the violation, as determined by the Township Engineer, and said stop-work order shall remain in full force and effect until the violation is corrected and any damage created by the violation is restored to its original state.

E. Should blasting be required on site, the applicant shall, in addition to any state permits that may be required, notify all owners within 200 feet of the property line two weeks prior to the date of said blasting and shall conduct a meeting with the property owners at least one week prior to blasting. The purpose of the meeting shall be to inform the residents and to advise them of such mitigation measures as may be appropriate. The blasting contractor shall use a seismograph and send the test results to the state and to the Township.

F. Prior to the issuance of a building permit for footing and foundation only, the roads shall be in passable condition and the sanitary sewers accepted. Prior to the issuance of the framing permit the roads must be paved, the fire hydrants active and ready for use. Sanitary sewers under paved areas shall not be approved until the base course of asphalt is installed. Prior to the issuance of the first certificate of occupancy, all utilities, including streetlights, shall be activated and road signs shall be installed.

G. Construction of improvements to existing public roads shall be given precedence to on-site construction.

H. Developers shall be held responsible for damage to public roads, private property, vehicles and personal injuries caused by their actions, as determined by the Township Engineer. No permanent certificates of occupancy will be issued to developers with unresolved insurance claims.

I. Sanitary facilities must be provided for construction workers. Facilities must also be provided for disposal of food and drink containers. No garbage is to be disposed of on the site.

J. If a site is to be left unworked for more than 30 days, that site must be graded and seeded.

K. No pipe, curb, control structure, inlet, manhole or low flow channel shall be constructed without cut sheets. The contractor

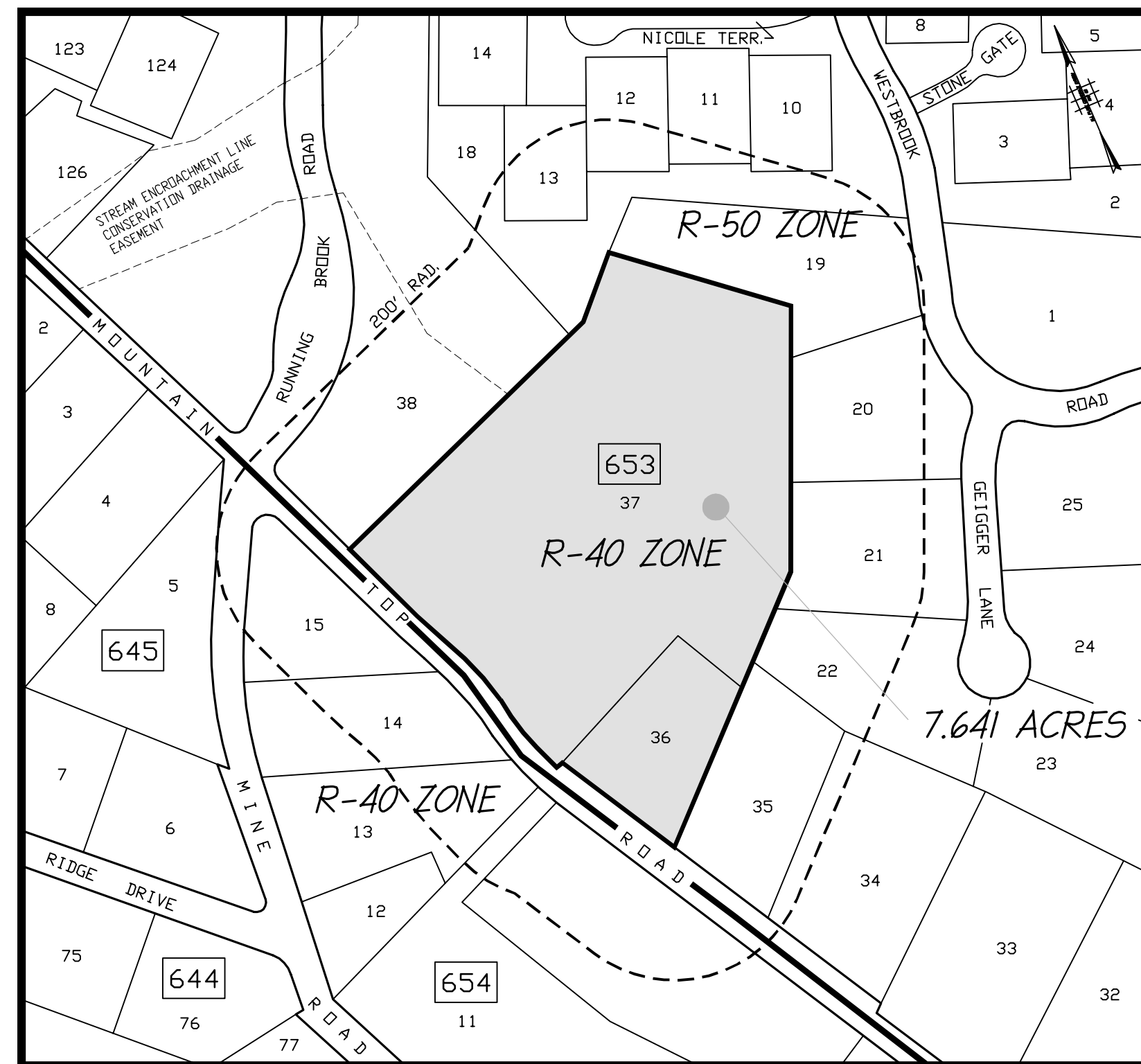
shall allow two working days for the Township Engineering Department to check the proposed elevations against those on the cutsheet.

L. Two working days' notice shall be given to the Township Engineer prior to starting or restarting construction. Four-day notice shall be given for paving work.

M. A sign shall be posted at each entrance to a subdivision indicating that the road is private beyond that point and that people may proceed at their own risk. The sign shall also show the developer's name, phone number and emergency phone number. The signs shall remain until the road is accepted as a public road. If the road will remain private, the temporary sign will be replaced with a small permanent sign.

N. Any new sanitary sewers will be isolated from the existing sewers with a plug to be located where the new sewer connects with the old sewer. The plug is not to be removed until the sewers are finished and ready for final testing. If the plug is removed prior to final testing, then the Township will plug the pipe with masonry. The cost of plugging the line will be paid by the developer.

O. No sanitary sewer is to be used for the transmission of sanitary sewage until the operations permit is issued.



BRIDGEWATER TOWNSHIP TAX MAP SHEET No.'s 32 & 86

KEY MAP

SCALE: 1" = 200' ±

PREPARED BY

VAN CLEEF ENGINEERING ASSOCIATES

P.O. BOX 5877

32 BROWER LANE

HILLSBOROUGH, NEW JERSEY 08844

SEPTEMBER 10, 2018

REVISED OCTOBER 24, 2018

REVISED OCTOBER 31, 2018

REVISED NOVEMBER 21, 2018

REVISED DECEMBER 7, 2018

REVISED NOVEMBER 15, 2019

REVISE MAY 28, 2020

REVISE JUNE 8, 2020

BY: *Michael K. Ford*
Michael K. Ford

New Jersey Professional Engineer
No. 34722

UTILITIES

ELECTRIC

Public Service Electric & Gas
472 Weston Canal Road
Somerset, New Jersey 08873
732-764-3067
732-356-1688 fax

GAS

Public Service Electric & Gas
40 Rock Avenue
Plainfield, New Jersey 07063
973-202-2160
908-412-9562 fax

WATER

New Jersey American Water
120 Raider Blvd.
Hillsborough, New Jersey 08844
908-431-3222
908-874-4266 fax

CABLE

Cablevision
275 Centennial Avenue
Attn: Margurite Prenderville
Construction Dept.

TELEPHONE

Verizon Communications
290 W. Mt. Pleasant Ave.
Livingston, New Jersey 07039
973-422-5151
973-740-2044 fax

OWNER/ APPLICANT:

TOWNSHIP OF BRIDGEWATER
100 COMMONS WAY
BRIDGEWATER, NJ 08807

INDEX OF SHEETS

1. COVER SHEET
2. PROPERTY SURVEY
3. DEMOLITION PLAN
4. PRELIMINARY PLAN
5. GRADING, DRAINAGE & UTILITY PLAN
6. ROAD PROFILE
7. PROFILES - STORM & SANITARY
8. SOIL EROSION CONTROL PLAN
9. SOIL EROSION CONTROL DETAILS
10. LANDSCAPE - TRAFFIC CONTROL PLAN
11. CONSTRUCTION DETAILS

BRIDGEWATER TOWNSHIP APPROVALS

APPLICATION NO. _____
APPROVED BY: _____

ALAN FROSS, _____ DATE
CHAIRPERSON - PLANNING BOARD

SCARLETT DOYLE, _____ DATE
SECRETARY - PLANNING BOARD

WILLIAM H. BURR, IV, P.E. _____ DATE
TOWNSHIP AND BOARD ENGINEER

AREA OF SITE: 7.641 ACRES

AREA AND YARD RESTRICTIONS

R40 CLUSTER OPTION

DESCRIPTION	R-40	CLUSTER / 60-70% (NET)	PROPOSED							
			LOT 10	LOT 11	LOT 12	LOT 13	LOT 14	LOT 15	LOT 16	LOT 17 (OPEN SPACE)
MINIMUM LOT AREA (CORNER)	45,000	31,500 (70%)	35,629						41,960	
MIN. LOT AREA (INTERIOR)	40,000	24,000 (60%)		24,178	24,021	33,452	36,430	29,176		68,575
MINIMUM LOT WIDTH (CORNER)	170	119 (70%)	136.34'						140.03'	
MINIMUM LOT WIDTH (INTERIOR)	150	105 (70%)		124.76'	108.42'	119.16'	141.45'	124.91'		NA
MINIMUM FRONT YARD SETBACK / (PRINCIPAL STRUCTURE)	50'	35' (70%)	35'	35'	35'	35'	35'	35'	35'	NA
MINIMUM SIDE YARD SETBACK / (PRINCIPAL STRUCTURE)	20'	14' (70%)	14'	14'	14'	14'	14'	14'	14'	NA
TOTAL SIDE YARD SETBACK / (PRINCIPAL STRUCTURE)	50'	35' (70%)	35'	35'	35'	35'	35'	35'	35'	NA
MINIMUM REAR YARD SETBACK / (PRINCIPAL STRUCTURE)	50'	35' (70%)	35'	35'	35'	35'	35'	35'	35'	NA
MAXIMUM % OF IMPROVED LOT COVERAGE (BASED ON FULL SIZE)	18%	18%	18%	18%	18%	18%	18%	18%	18%	NA
MAXIMUM FAR (BASED ON FULL SIZE)	0.16	0.16	0.16	0.16	0.16	0.16	0.16	0.16	0.16	NA
MAXIMUM BUILDING HEIGHT	35'	35'	35'	35'	35'	35'	35'	35'	35'	NA

CALL BEFORE YOU DIG

IN NJ, TOLL FREE

1 - 800 - 272 - 1000

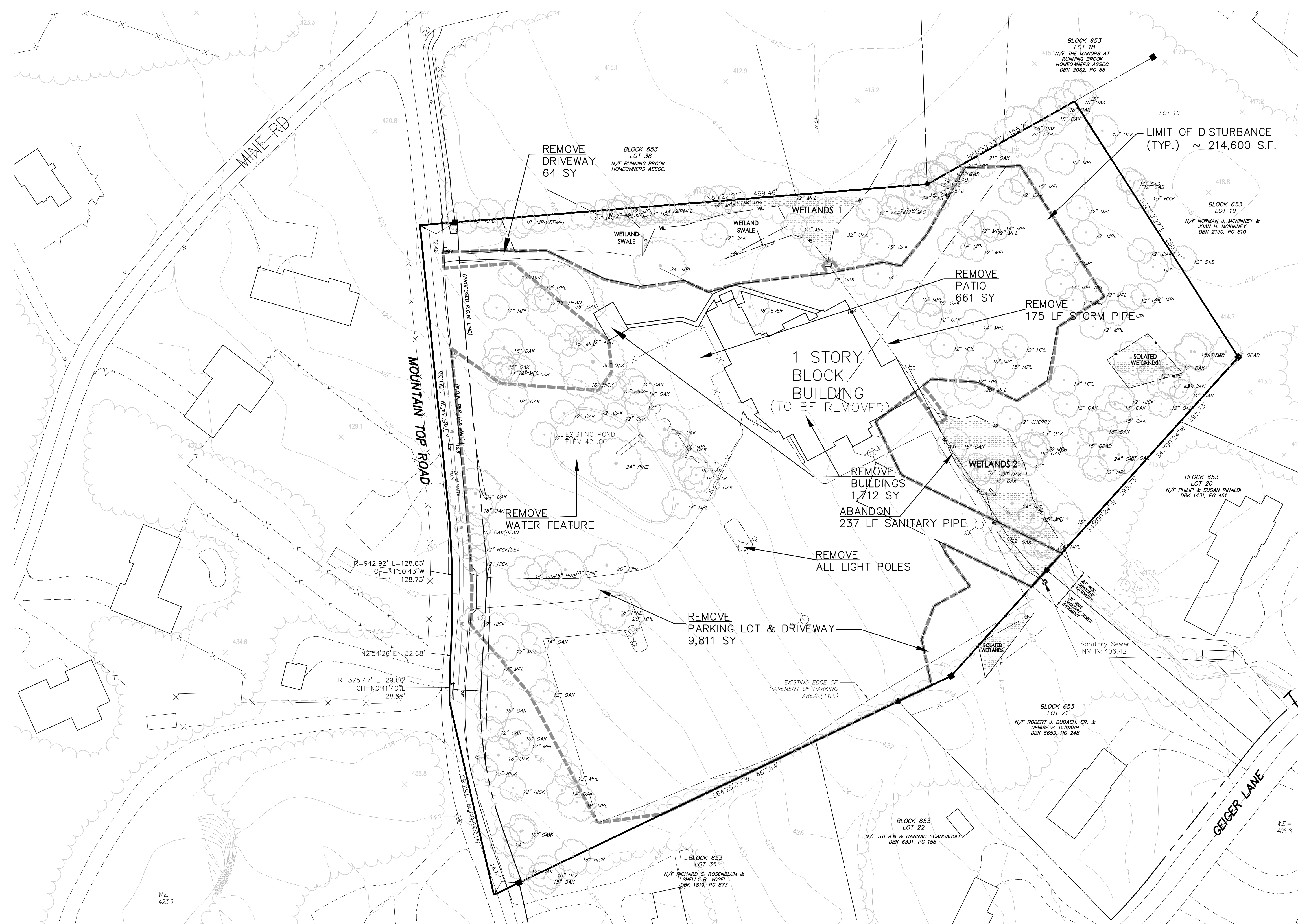
FOR FREE MARKOUTS TO LOCATE UNDERGROUND UTILITIES

"IT'S THE LAW"

GARDEN STATE UNDERGROUND PLANT LOCATION SERVICE, INC.



NOTE: PLANS COMPLY WITH RSIS FOR RESIDENTIAL DEVELOPMENT

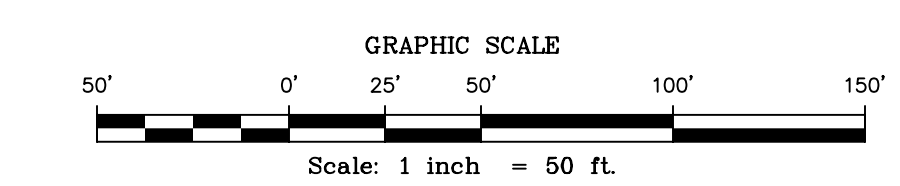


- CONSTRUCTION MITIGATION MEASURES**
- A. THE SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL REMAIN IN FULL FORCE AND EFFECT DURING THE COURSE OF CONSTRUCTION OF THE ENTIRE PROJECT. FAILURE TO COMPLY WITH THE SOIL EROSION AND SEDIMENT CONTROL PLANS SHALL RESULT IN A WORK STOPPAGE UNTIL THE CONDITIONS ARE CORRECTED AND THE PLAN REIMPLEMENTED.
- B. ADDITIONALLY, THE FOLLOWING CONSTRUCTION MITIGATION PRACTICES SHALL BE REQUIRED ON SITE:
- ANTI-VANDALISM HORNS ON EQUIPMENT SHALL BE ELIMINATED.
 - PROHIBITED TIMES AND PRACTICES.
- A. THE EXCAVATION, GRADING, PAVING, ERECTION, DEMOLITION, ALTERATION OR REPAIR OF ANY PREMISES, STREET, BUILDING OR STRUCTURE IS PROHIBITED AT ANY TIME ON SUNDAYS, NATIONAL HOLIDAYS OR OTHER THAN THE HOURS OF 8:00 AM AND 4:00 PM ON SATURDAYS OR BETWEEN THE HOURS OF 7:30 AM AND 6:00 PM ON ALL OTHER DAYS, EXCEPT IN THE CASE OF URGENT NECESSITY IN THE INTEREST OF PUBLIC HEALTH, WELFARE AND SAFETY AND THEN ONLY IN ACCORDANCE WITH AN APPROVAL FIRST OBTAINED FROM THE TOWNSHIP ENGINEER, RELATED TO LAND CLEARING AND GRADING, DRAINAGE, SEWER AND WATER UTILITIES AND PUBLIC IMPROVEMENT WORK, OR FROM THE TOWNSHIP CODE ENFORCEMENT OFFICIAL AS TO OTHER WORK. SUCH APPROVAL MAY BE GRANTED FOR A PERIOD NOT TO EXCEED THREE(3) DAYS OR LESS WHILE THE EMERGENCY CONTINUES. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO INTERIOR OR EXTERIOR REPAIRS OR TO INTERIOR ALTERATIONS, THE WORK FOR WHICH IS ACTUALLY PERFORMED BY A HOMEOWNER OR OCCUPANT, PERSONALLY, BETWEEN THE HOURS OF 8:00 AM AND 10:00 PM UPON RESIDENTIAL PREMISES, PROVIDED THAT THE WORK SHALL BE DONE WITHOUT UNDUE NOISE OR DISTURBANCE OF THE PEACE AND QUIET OF THE NEIGHBORHOOD.
- B. THE EXCAVATION, GRADING, PAVING, ERECTION, DEMOLITION, ALTERATION OR REPAIR OF ANY PREMISES, STREET, BUILDING OR STRUCTURE IS PROHIBITED IF THE EFFECT OF SUCH WORK OR ANY ACTIVITY CONNECTED WITH SUCH WORK IS TO CAUSE NOISE, FUMES, SMOKE OR DUST, WHICH PRODUCES A DELETERIOUS EFFECT BEYOND THE BOUNDARIES AND PERIMETER OF THE SITE FROM WHICH IT IS EMANATING.
- ANTI-LITTER REGULATIONS SHALL BE IMPOSED ON SITE.
 - THE APPLICANT SHALL ESTABLISH REGULATIONS FOR THE SAFE AND PROPER TRANSFER AND TRANSPORT OF FUEL ON SITE.
 - TRUCK MATS SHALL BE LOCATED BY THE SOIL EROSION CONTROL OFFICER IN CONJUNCTION WITH THE TOWNSHIP ENGINEER IN SUCH PLACES AS TO MINIMIZE THE TRACKING OF DIRT AND MUD ONTO THE TRAVELED ROADS. THE MATS SHALL BE MAINTAINED AND CLEANED AS NECESSARY TO ACHIEVE THE REQUIRED RESULTS.
 - CLEANUP AND WASHDOWN OF TRUCKS AND EQUIPMENT SHALL BE REQUIRED BEFORE LEAVING THE CONSTRUCTION SITE. THE DEVELOPER SHALL PROVIDE SUFFICIENT LABORERS AND EQUIPMENT TO CONTROL TRACKING AT ALL ACTIVE EXITS FROM THE SITE.
 - ADAPTURE PROVISIONS FOR SAFE CONTROL OF EMPLOYEE PARKING INCLUDING EMPLOYEES OF THE CONTRACTOR AND SUBCONTRACTORS, SHALL BE REQUIRED ON SITE DURING CONSTRUCTION.
 - VIOLATIONS OF THESE CONSTRUCTION MITIGATION MEASURES SHALL RESULT IN A STOP-WORK ORDER, WHICH ORDER SHALL REMAIN IN FULL FORCE AND EFFECT UNTIL THE CONDITION IS REMEDIED TO THE SATISFACTION OF THE TOWNSHIP ENGINEER.
- C. PRIOR TO CONSTRUCTION, INCLUDING SITE WORK, A PRECONSTRUCTION MEETING SHALL BE REQUIRED TO INCLUDE THE TOWNSHIP REPRESENTATIVES, THE APPLICANT AND ITS ENGINEERS AND CONTRACTORS. THE PRECONSTRUCTION MEETING SHALL NOT BE HELD UNTIL A COPY OF THE ENGINEER'S OPINION OF PROBABLE COST HAS BEEN SUBMITTED TO THE MUNICIPALITY FOR COMPUTATION OF ENGINEERING INSPECTION FEES AND FOR A DETERMINATION OF PERFORMANCE BONDS AND SAID FEES AND BONDS HAVE BEEN SUBMITTED AND APPROVED BY THE TOWNSHIP ATTORNEY. NINE SETS OF PLANS CONTAINING ALL CORRECTIONS, ADDITIONS, AND DELETIONS REQUIRED BY THE APPROVING BOARD AND ALL OTHER PRIOR APPROVAL PERMITS SHALL BE PROVIDED AT LEAST 10 DAYS PRIOR TO THE PRECONSTRUCTION MEETING. COPIES OF ALL PERMITS FROM THE FEDERAL, STATE AND COUNTY AGENCIES SHALL BE PROVIDED TO THE TOWNSHIP AT THE MEETING.
- D. ALL NONDISTURBED AREAS ON SITE SHALL BE DEMARCATED BY SNOW FENCE DURING CONSTRUCTION, AND SNOW FENCE SHALL BE INSTALLED ON SITE PRIOR TO ANY CONSTRUCTION ACTIVITY INCLUDING SITE WORK. A VIOLATION OF THE NONDISTURBED AREAS WILL RESULT IN A STOP-WORK ORDER FOR THAT AREA AFFECTED BY THE VIOLATION, AS DETERMINED BY THE TOWNSHIP ENGINEER, AND SAID STOP-WORK ORDER SHALL REMAIN IN FULL FORCE AND EFFECT UNTIL THE VIOLATION IS CORRECTED AND ANY DAMAGE CREATED BY THE VIOLATION IS RESTORED TO ITS ORIGINAL STATE.
- E. SHOULD BLASTING BE REQUIRED ON SITE, THE APPLICANT SHALL, IN ADDITION TO ANY STATE PERMITS THAT MAY BE REQUIRED, NOTIFY ALL OWNERS WITHIN 200 FEET OF THE PROPERTY LINE TWO WEEKS PRIOR TO THE DATE OF SAID BLASTING AND SHALL CONDUCT A MEETING WITH THE PROPERTY OWNERS AT LEAST ONE WEEK PRIOR TO BLASTING. THE PURPOSE OF THE MEETING SHALL BE TO INFORM THE RESIDENTS AND TO ADVISE THEM OF SUCH MITIGATION MEASURES AS MAY BE APPROPRIATE. THE BLASTING CONTRACTOR SHALL USE A SEISMOGRAPH AND SEND THE TEST RESULTS TO THE STATE AND TO THE TOWNSHIP.
- F. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR FOOTING AND FOUNDATION ONLY, THE ROADS SHALL BE IN PASSABLE CONDITION AND THE SANITARY SEWERS ACCEPTED. PRIOR TO THE ISSUANCE OF THE FRAMING PERMIT THE ROADS MUST BE PAVED, THE FIRE HYDRANTS ACTIVE AND READY FOR USE. SANITARY SEWERS UNDER PAVED AREAS WILL NOT BE APPROVED UNTIL THE BASE COURSE OF ASPHALT IS INSTALLED. PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY, ALL UTILITIES, INCLUDING STREETLIGHTS, SHALL BE ACTIVATED AND ROAD SIGNS SHALL BE INSTALLED.
- G. CONSTRUCTION OF IMPROVEMENTS TO EXISTING PUBLIC ROADS SHALL BE GIVEN PRECEDENCE TO ON-SITE CONSTRUCTION.
- H. DEVELOPERS SHALL BE HELD RESPONSIBLE FOR DAMAGE TO PUBLIC ROADS, PRIVATE PROPERTY, VEHICLES AND PERSONNEL INJURIES CAUSED BY THEIR ACTIONS, AS DETERMINED BY THE TOWNSHIP ENGINEER. NO PERMANENT CERTIFICATES OF OCCUPANCY WILL BE ISSUED TO DEVELOPERS WITH UNRESOLVED INSURANCE CLAIMS.
- I. SANITARY FACILITIES MUST BE PROVIDED FOR CONSTRUCTION WORKERS. FACILITIES MUST ALSO BE PROVIDED FOR DISPOSAL OF FOOD AND DRINK CONTAINERS. NO GARBAGE IS TO BE DISPOSED OF ON THE SITE.
- J. IF A SITE IS TO BE LEFT UNWORKED FOR MORE THAN 30 DAYS, THE SITE MUST BE GRADED AND SEEDED.
- K. NO PIPE, CURB, CONTROL STRUCTURE, INLET, MANHOLE OR LOW FLOW CHANNEL SHALL BE CONSTRUCTED WITHOUT CUTSHEETS. THE CONTRACTOR SHALL ALLOW TWO WORKING DAYS FOR THE TOWNSHIP ENGINEERING DEPARTMENT TO CHECK THE PROPOSED ELEVATIONS AGAINST THOSE ON THE CUTSHEETS.
- L. TWO WORKING DAYS' NOTICE SHALL BE GIVEN TO THE TOWNSHIP ENGINEER PRIOR TO STARTING OR RESTARTING CONSTRUCTION. FOUR-DAY NOTICE SHALL BE GIVEN FOR PAVING WORK.
- M. A SIGN SHALL BE POSTED AT EACH ENTRANCE TO A SUBDIVISION INDICATING THAT THE ROAD IS PRIVATE BEYOND THAT POINT AND THAT PEOPLE MAY PROCEED AT THEIR OWN RISK. THE SIGN SHALL ALSO SHOW THE DEVELOPER'S NAME, PHONE NUMBER AND EMERGENCY PHONE NUMBER. THE SIGNS SHALL REMAIN UNTIL THE ROAD IS ACCEPTED AS A PUBLIC ROAD. IF THE ROAD WILL REMAIN PRIVATE, THE TEMPORARY SIGN WILL BE REPLACED WITH A SMALL PERMANENT SIGN.
- N. ANY NEW SANITARY SEWERS WILL BE ISOLATED FROM THE EXISTING SEWERS WITH A PLUG TO BE LOCATED WHERE THE NEW SEWER CONNECT WITH THE OLD SEWER. THE PLUG IS NOT TO BE REMOVED UNTIL THE SEWERS ARE FINISHED AND READY FOR FINAL TESTING. IF THE PLUG IS REMOVED PRIOR TO FINAL TESTING, THEN THE TOWNSHIP WILL PLUG THE PIPE WITH MASONRY. THE COST OF PLUGGING THE LINE WILL BE PAID BY THE DEVELOPER.
- O. NO SANITARY SEWER IS TO BE USED FOR THE TRANSMISSION OF SANITARY SEWAGE UNTIL THE OPERATIONS PERMIT IS ISSUED.

NOTE: ALL EXISTING SITE IMPROVEMENTS SUCH AS BUILDING, POND, DRIVEWAYS, WALKWAYS, PARKING AREAS ARE TO BE REMOVED.

NOTE: EVERY EFFORT IS TO BE MADE TO SAVE MATURE, HEALTHY TREES ON THE SUBJECT PROPERTY. UPON FINALIZATION OF THE INDIVIDUAL PLOT AND GRADING PLANS FOR THE PROPOSED HOMES, A DETERMINATION WILL BE MADE AS TO WHICH TREES WILL BE REMOVED TO FACILITATE THE REDEVELOPMENT OF THIS PROPERTY.

- DEMOLITION NOTES**
- EXISTING UTILITIES, PAVEMENT, CURB, LANDSCAPING, BUILDING, CONCRETE SIDEWALK, LIGHTING FEATURES, ETC. SHALL BE REMOVED, CAPPED, RECONSTRUCTED, AND / OR RELOCATED AS NECESSARY IN THE AREAS OF CONSTRUCTION.
 - SITE LIGHTING, UNDERGROUND CONDUIT, WATER, GAS, TELEPHONE, SANITARY SEWER LATERALS AND STORM DRAINAGE ALL SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL VERIFY AND PROTECT ALL UTILITIES IN AREAS OF EXCAVATION.
 - THE CONTRACTOR SHALL NOT REMOVE FROM SERVICE ANY UTILITY WITHOUT VERIFICATION THAT THE SERVICE HAS BEEN REROUTED, CAPPED OR TAKEN OUT OF SERVICE. ROOF LEADERS, SANITARY SEWERS, GAS, ELECTRIC, TELEPHONE, WATER, SITE LIGHTING AND ANY MISCELLANEOUS UTILITY SHALL REMAIN IN SERVICE AT ALL TIMES DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL BACKFILL ALL DEMOLITION TO SUBGRADE USING SUITABLE MATERIAL AND SHALL PLACE AND COMPACT BACKFILL IN LIFTS TO ASSURE 95% PROCTOR. BACKFILL MATERIAL SHALL BE APPROVED BY THE TOWNSHIP ENGINEER OR HIS DESIGNEE.
 - ALL DEBRIS, CONCRETE CHUNKS, TREE STUMPS, AND OTHER UNSUITABLE MATERIAL RESULTING FROM THE SITE GRADING AND EXISTING STRUCTURAL DEMOLITION SHALL BE DISPOSED OF AT AN APPROVED DISPOSAL LOCATION. ON UNSUITABLE MATERIALS SHALL BE PERMITTED TO BE BURIED ON SITE.
 - A RECYCLING PLAN FOR THE CONSTRUCTION AND DEMOLITION DEBRIS SHALL BE SUBMITTED TO THE ENVIRONMENTAL OFFICER OF BRIDGEWATER.
 - THE APPLICANT SHALL RESCUE ALL REQUIRED DEMOLITION PERMITS.



		DATE: SEPTEMBER 10, 2018
		SCALE: 1" = 50'
		DESIGNED BY: W.C.T.
REVISED SITE LAYOUT	M.K.F.	12/7/18
PER TOWNSHIP	W.C.T.	10/24/18
REVISIONS	AUTH.	DATE
		JOB No. 5902

BY: *Michael K. Ford*
 Michael K. Ford
 New Jersey Professional Engineer
 No. 34722

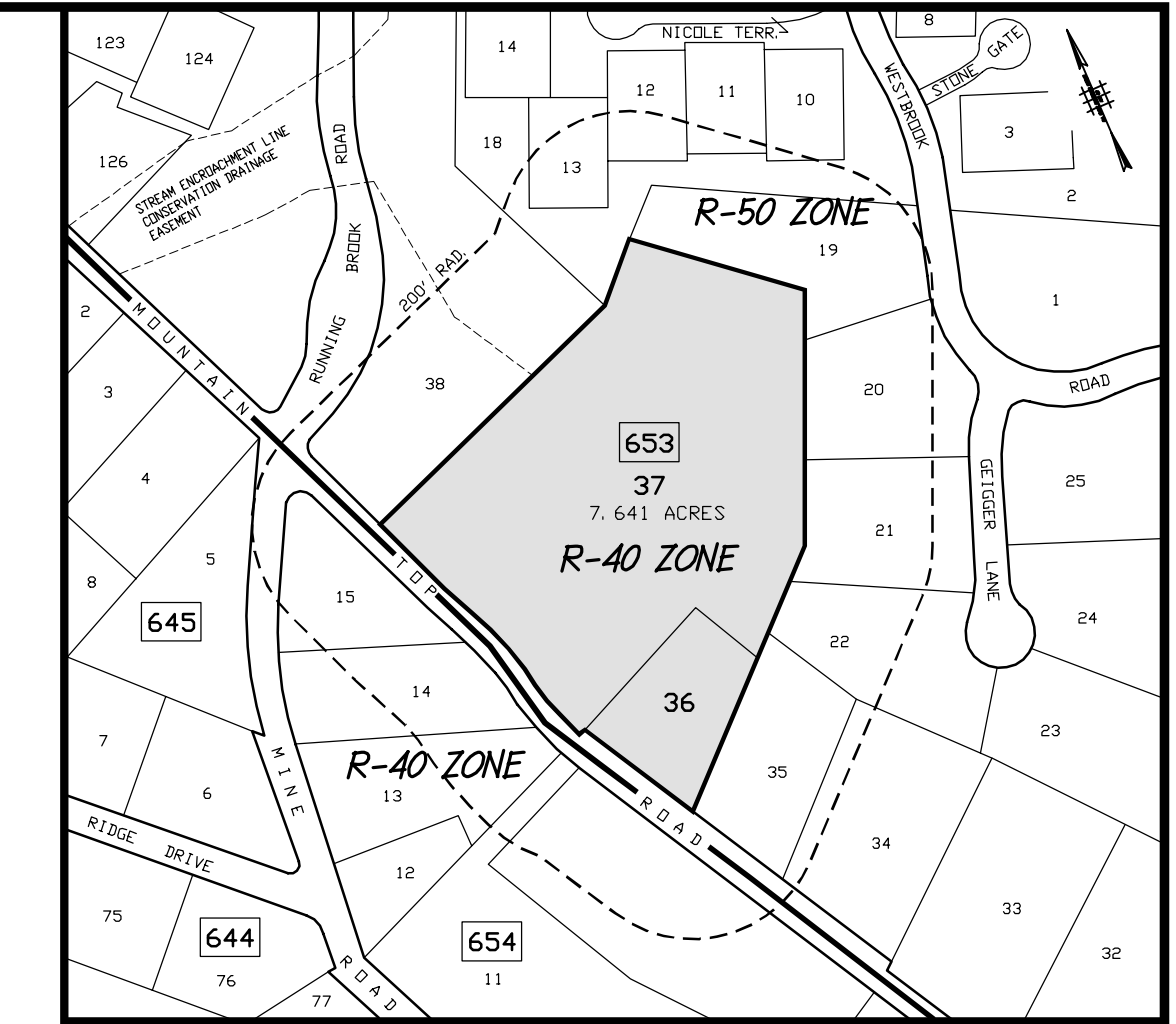
Van Cleef
 ENGINEERING ASSOCIATES, LLC

32 BROOKER LANE, PO BOX 8877, HILLSBOROUGH, NJ 08044
 EMAIL: CONTACTUS@VANCLEEFENGINEERING.COM
 WEB: WWW.VANCLEEFENGINEERING.COM
 PHONE: (908) 359-8291 FAX: (908) 359-1580

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DEMOLITION PLAN
 FOR
BLOCK 653 LOTS 36 & 37
 SITUATED IN
 BRIDGEWATER TOWNSHIP,
 SOMERSET COUNTY, NEW JERSEY



BRIDGEWATER TOWNSHIP TAX MAP SHEET No. 32 & 86
KEY MAP
SCALE: 1" = 300'

RIGHT OF WAY CURVE TABLE

CURVE NO.	RADIUS	LENGTH	DELTA	CHORD LENGTH	CHORD DIRECTION
C1	25.00'	39.62'	90°47'50"	35.60'	N 50°41'10" W
C2	17.00'	26.93'	90°44'59"	24.20'	N 38°32'25" W
C3	58.00'	275.48'	272°08'34"	80.47'	N 50°45'47" W
C4	58.00'	67.28'	66°27'56"	63.57'	S 26°23'54" W
C5	58.00'	67.61'	66°47'41"	63.85'	N 86°58'17" W
C6	58.00'	80.56'	79°35'00"	74.24'	N 13°46'57" W
C7	58.00'	60.03'	59°17'57"	57.38'	S 55°39'32" W
C8	25.00'	36.80'	84°20'23"	33.57'	S 41°44'42" W

EASEMENT CURVE TABLE

CURVE NO.	RADIUS	LENGTH	DELTA	CHORD LENGTH	CHORD DIRECTION
C9	25.00'	16.93'	38°47'50"	16.61'	S 24°41'10" E
C10	58.00'	15.17'	14°59'19"	15.13'	N 61°04'06" W
C11	58.00'	20.00'	19°45'28"	19.90'	N 4°02'30" W
C12	58.00'	20.42'	20°10'19"	20.31'	N 15°55'24" E
C13	58.00'	20.42'	20°10'22"	20.31'	N 36°05'42" E
C14	25.00'	13.68'	31°21'43"	13.51'	N 15°15'22" E
C15	240.00'	16.47'	3°55'58"	16.47'	N 1°32'25" E
C16	335.00'	73.93'	12°38'39"	73.78'	N 2°48'55" W

AREA AND YARD RESTRICTIONS
R40 CLUSTER OPTION

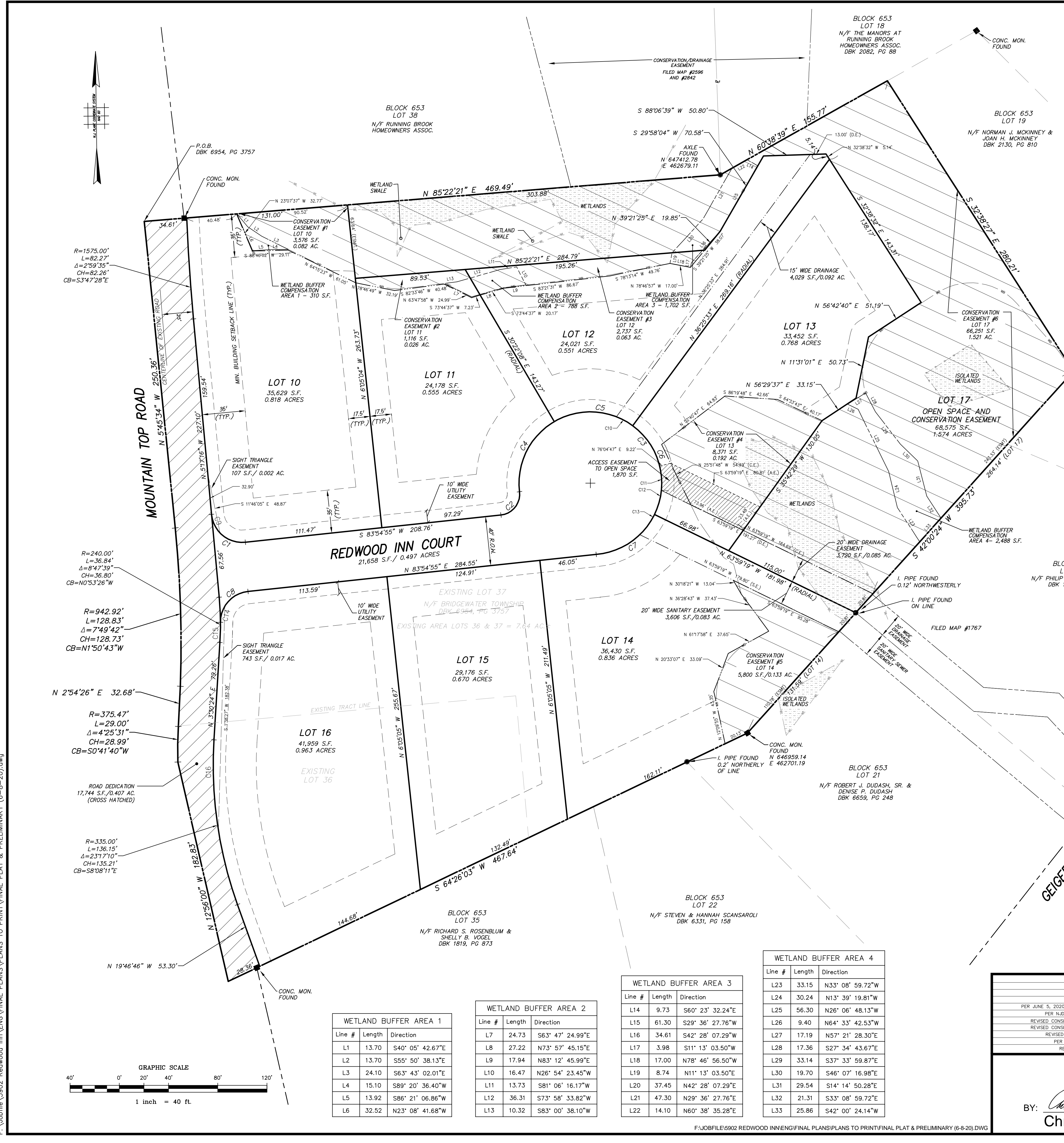
DESCRIPTION	R-40	CLUSTER / 60-70% (NET)	PROPOSED							
			LOT 10	LOT 11	LOT 12	LOT 13	LOT 14	LOT 15	LOT 16	LOT 17 (OPEN SPACE)
MINIMUM LOT AREA (CORNER)	45,000	31,500 (70%)	35,629							41,960
MIN. LOT AREA (INTERIOR)	40,000	24,000 (60%)		24,178	24,021	33,452	36,430	29,176		68,575
MINIMUM LOT WIDTH (CORNER)	170	119 (70%)	136.34'							140.03'
MINIMUM LOT WIDTH (INTERIOR)	150	105 (70%)		124.76'	108.42'	119.16'	141.45'	124.91'		NA
MINIMUM FRONT YARD SETBACK / (PRINCIPAL STRUCTURE)	50'	35' (70%)	35'	35'	35'	35'	35'	35'	35'	NA
MINIMUM SIDE YARD SETBACK / (PRINCIPAL STRUCTURE)	20'	14' (70%)	14'	14'	14'	14'	14'	14'	14'	NA
TOTAL SIDE YARD SETBACK / (PRINCIPAL STRUCTURE)	50'	35' (70%)	35'	35'	35'	35'	35'	35'	35'	NA
MINIMUM REAR YARD SETBACK / (PRINCIPAL STRUCTURE)	50'	35' (70%)	35'	35'	35'	35'	35'	35'	35'	NA
MAXIMUM % OF IMPROVED LOT COVERAGE (BASED ON FULL SIZE)	18%	18%	18%	18%	18%	18%	18%	18%	18%	NA
MAXIMUM FAR (BASED ON FULL SIZE)	0.16	0.16	0.16	0.16	0.16	0.16	0.16	0.16	0.16	NA
MAXIMUM BUILDING HEIGHT	35'	35'	35'	35'	35'	35'	35'	35'	35'	NA

CONSERVATION EASEMENT SUMMARY:

EASEMENT #	LOT #	AREA	
		S.F.	ACRES
1	10	3,576	0.082
2	11	1,116	0.026
3	12	2,737	0.063
4	13	8,371	0.192
5	14	5,800	0.133
6	17	66,251	1.521
TOTAL:		87,852	2.017

AREAS SUMMARY:

MOUNTAIN ROAD DEDICATION	0.407 ACRES
REDWOOD INN COURT DEDICATION	0.497 ACRES
7 (SEVEN) RESIDENTIAL LOTS	5.163 ACRES
OPEN SPACE LOT	1.574 ACRES
LANDS TOTAL:	7.641 ACRES



WETLAND BUFFER AREA 1

Line #	Length	Direction
L1	13.70	S40° 05' 42.67"E
L2	13.70	S55° 50' 38.13"E
L3	24.10	S63° 43' 02.01"E
L4	15.10	S89° 20' 36.40"W
L5	13.92	S86° 21' 06.86"W
L6	32.52	N23° 08' 41.68"W

WETLAND BUFFER AREA 2

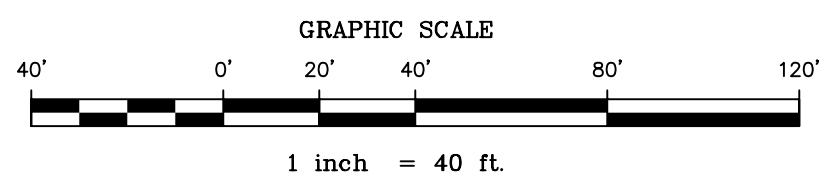
Line #	Length	Direction
L7	24.73	S63° 47' 24.99"E
L8	27.22	N73° 57' 45.15"E
L9	17.94	N83° 12' 45.99"E
L10	16.47	N26° 54' 23.45"W
L11	13.73	S81° 06' 16.17"W
L12	36.31	S73° 58' 33.82"W
L13	10.32	S83° 00' 38.10"W

WETLAND BUFFER AREA 3

Line #	Length	Direction
L14	9.73	S60° 23' 32.24"E
L15	61.30	S29° 36' 27.76"W
L16	34.61	S42° 28' 07.29"W
L17	3.98	S11° 13' 03.50"W
L18	17.00	N78° 46' 56.50"W
L19	8.74	N11° 13' 03.50"E
L20	37.45	N42° 28' 07.29"E
L21	47.30	N29° 36' 27.76"E
L22	14.10	N60° 38' 35.28"E

WETLAND BUFFER AREA 4

Line #	Length	Direction
L23	33.15	N33° 08' 59.72"W
L24	30.24	N13° 39' 19.81"W
L25	56.30	N26° 06' 48.13"W
L26	9.40	N64° 33' 42.53"W
L27	17.19	N57° 21' 28.30"E
L28	17.36	S27° 34' 43.67"E
L29	33.14	S37° 33' 59.87"E
L30	19.70	S46° 07' 16.98"E
L31	29.54	S14° 14' 50.28"E
L32	21.31	S33° 08' 59.72"E
L33	25.86	S42° 00' 24.14"W



F:\JOBFILES\5902 REDWOOD INN\ENGIN\FINAL PLANS\PLANS TO PRINT\FINAL PLAT & PRELIMINARY (6-8-20).DWG

F:\JOBFILES\5902 REDWOOD INN\ENGIN\FINAL PLANS\PLANS TO PRINT\FINAL PLAT & PRELIMINARY (6-8-20).DWG

PER JUNE 9, 2020 COMPLETENESS REVIEW	M.K.F.	6-8-20
PER DEED APPROVAL	M.K.F.	5-28-20
REVISED CONSERVATION EASEMENT	M.K.F.	11-25-19
REVISED CONSERVATION EASEMENT	M.K.F.	12-7-18
REVISED SITE LAYOUT	M.K.F.	12-7-18
PER TOWNSHIP	T.B.E.	11-21-18
REVIEWS	DATE	

DATE: SEPTEMBER 5, 2018
SCALE: 1" = 40'
DESIGNED BY: W.C.T.
DRAWN BY: T.E.
CHECKED BY: W.C.T.
JOB No. 5902

BY: *Christopher A. Melick*
Christopher A. Melick
New Jersey Professional Land Surveyor No. 24G03586000

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Water / Wastewater
Municipal Engineering
Land Surveying
Professional Planning
Landscape Architecture
NJ LLC CERT. NO. 24G02813200

PRELIMINARY SUBDIVISION PLAN
FOR
BLOCK 653 LOTS 36 & 37
BRIDGEWATER TOWNSHIP,
SOMERSET COUNTY, NEW JERSEY

4

GENERAL NOTES

1. PRIOR TO START OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, SIZE AND DIMENSION OF ALL UNDERGROUND UTILITIES. VAN CLEEF ENGINEERING ASSOCIATES, L.L.C. ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF BURIED UTILITIES SHOWN NOR LACK THEREOF. THE CONTRACTOR SHALL CONTACT THE UTILITY MARK OUT SERVICE BY CALLING 1-800-272-1000 PRIOR TO THE START OF THE CONSTRUCTION.
2. ANY DISCREPANCIES IN REFERENCED COORDINATES, ELEVATIONS, EXISTING DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.
3. ALL DEBRIS CONCRETE CHUNKS, TREE STUMPS, AND OTHER UNSUITABLE MATERIAL RESULTING FROM THE SITE GRADING AND EXISTING STRUCTURAL DEMOLITION SHALL BE DISPOSED OF AT AN APPROVED DISPOSAL LOCATION. NO UNSUITABLE MATERIALS SHALL BE PERMITTED TO BE BURIED ON SITE.
4. ALL IMPROVEMENTS SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THE MOST RECENT CONSTRUCTION STANDARDS OF THE TOWNSHIP OF BRIDGEWATER.
5. IN INSTANCES WHERE THE TOWNSHIP SPECIFICATIONS PROVIDE NO DETAILED SPECIFICATION, THE MATERIALS AND METHODS OF CONSTRUCTION SHALL MEET AND CONFORM TO THE REQUIREMENTS OF "THE STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" FOR THE NEW JERSEY DEPARTMENT OF TRANSPORTATION.
6. ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND.
7. THE PROPOSED CATCH BASIN CURB PIECES SHALL BE CONSISTENT WITH THE NEW STORMWATER MANAGEMENT RULES.
8. ALL CONSTRUCTION TO BE PER NJDOT STANDARD SPECIFICATIONS, LATEST VERSION.
9. ALL TRAFFIC SIGNS SHALL MEET THE STANDARDS SET FORTH IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
10. UNDERDRAINS WILL BE INSTALLED BENEATH THE STABILIZED BASE COURSE WHERE THE SITE CONDITIONS WARRANT THEM AS DIRECTED BY THE TOWNSHIP ENGINEER/P.
11. THE PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA.
12. STREET TREES PLANTED ON THE PROPERTY SHALL BE PLANTED AT LEAST THREE(3) FEET INSIDE THE PROPERTY LINE, BUT NOT IN ANY DRAINAGE AREAS OR ELECTRICAL BOX AREAS.
13. DRAINAGE EASEMENTS AND ALL WATERCOURSE AREAS SHALL BE CLEANED OF DEBRIS AND FALLEN LIMBS PRIOR TO ANY LAND DISTURBANCE FOR THE REVIEW AND APPROVAL OF THE TOWNSHIP PLANNER.
14. TREES TO BE SAVED SHALL BE MARKED PRIOR TO ANY LAND DISTURBANCE FOR THE REVIEW AND APPROVAL OF THE TOWNSHIP PLANNER.
15. THE POSITIONING OF PROPOSED TREES SHALL AVOID TELEPHONE, ELECTRIC, GAS LINES AND THE GENERAL CONTRACTOR SHALL COMPLY WITH ALL SECTIONS OF CHAPTER 14 OF THE 2006 IFC NJ EDITION WHICH INCLUDES A FIRE PREVENTION PROGRAM SUPERINTENDENT.
17. BEFORE AND DURING CONSTRUCTION/DEMOLITION, WHERE FIRE PREVENTION SYSTEMS NEED TO BE DISABLED OR TAKEN OUT OF SERVICE TO ADD OR CHANGE A SYSTEM OR TO AVOID FALSE ALARMS, THE FIRE OFFICIALS SHALL BE NOTIFIED AND THE SHUTDOWN PROCEDURES SHALL BE FOLLOWED.
18. LOT 36 TO BE MERGED WITH LOT 37 AND A NEW DEED DESCRIPTION TO BE PROVIDED.
19. EXISTING PUBLIC SEWER AND WATER TO BE MAINTAINED FOR PROJECT.
20. PROPOSED BUILDING DIMENSIONS TO BE VERIFIED WITH ARCHITECT PRIOR TO CONSTRUCTION.
21. THESE ARE TO BE NO FIELD CHANGES MADE UNLESS APPROVED BY THE DESIGN ENGINEER AND SUBSEQUENTLY BY THE RESPONSIBLE AGENCY.
22. EXISTING TREES ON-SITE SHALL BE PROTECTED WITH TREE PROTECTION FENCING AS NECESSARY.
23. IN BUFFER AREAS ALL TREES AND ALL UNDERSTORY VEGETATION WILL REMAIN.
24. SLOPES GREATER THAN 10% IN SUBJECT PROPERTY TO BE CALLED OUT.

**PROPOSED PLANS SEWER USE:
300 GAL/DAY PER DWELLING X 7
DWELLINGS = 2,100 GAL/DAY**

GENERAL PERMIT

- GP#2 WETLAND TRANSITION AREA DISTURBANCE, 0.044 AC.
- GP#2 WETLAND DISTURBANCE UTILITY LINE CROSSING, 0.005 AC.
- SPECIAL ACTIVITY REDEVELOPMENT MAINTENANCE TRANSITION AREA DISTURBANCE 0.027 AC.
- GP#11 WETLAND TRANSITION AREA DISTURBANCE 0.043 AC.
- GP#11 OUTFALL WETLAND DISTURBANCE 0.025 AC.

- WL WETLAND LIMIT
- WB EXISTING WETLAND BUFFER LIMIT
- WP PROPOSED WETLAND BUFFER LIMIT
- PROPOSED SPLIT RAIL FENCE
- CONSERVATION EASEMENT SIGN

WETLAND TRANSITION AREA 1 AVERAGING

- EXISTING STANDARD TRANSITION AREA = 21,149 SF
- REDUCTION AREA = 2,766 S.F. TOTAL
- COMPENSATION AREA = 2,800 S.F. TOTAL
- EXISTING DISTURBED WETLAND BUFFER AREA TO BE RESTORED = 1,799 S.F. TOTAL
- TOTAL ADDITIONAL COMPENSATION = 34 S.F.
- TOTAL TRANSITION AREA = 21,183 SF

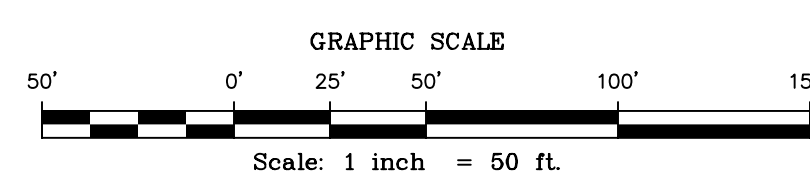
WETLAND PERMITTING/APPROVALS SUBJECT TO NJDEP APPROVAL.

WETLAND TRANSITION AREA 2 AVERAGING

- EXISTING STANDARD TRANSITION AREA = 23,288 SF
- REDUCTION AREA = 2,476 S.F. TOTAL
- COMPENSATION AREA = 2,488 S.F. TOTAL
- EXISTING DISTURBED WETLAND BUFFER AREA TO BE RESTORED = 5,985 S.F. TOTAL
- TOTAL ADDITIONAL COMPENSATION = 12 S.F.
- TOTAL TRANSITION AREA = 23,300 SF

PERMIT AREAS		
PERMIT	DISTURBANCE TO WETLANDS TRANSITION AREA	DISTURBANCE TO WETLANDS
GP #2	0.044 ACRES	0.005 ACRES
GP #11	0.043 ACRES	0.025 ACRES
TOTALS	0.087 ACRES	0.030 ACRES*

* THE PROPOSED TOTAL WETLAND DISTURBANCE IS LESS THAN 0.1 AC THEREFORE NO MITIGATION IS REQUIRED.



DATE: SEPTEMBER 10, 2018	DESIGNED BY: W.C.T.
SCALE: 1" = 50'	DRAWN BY: A.B.
PER JUNE 5, 2020 COMPLETENESS REVIEW	CHECKED BY: W.C.T.
PER NJDEP APPROVAL	JOB No. 5902
REVISED CONSERVATION EASEMENT	
REVISED SITE LAYOUT	
PER TOWNSHIP	
REVISIONS	
AUTH.	DATE

BY: *Michael K. Ford*
Michael K. Ford
New Jersey Professional Engineer
No. 34722

Van Cleef
ENGINEERING ASSOCIATES, LLC

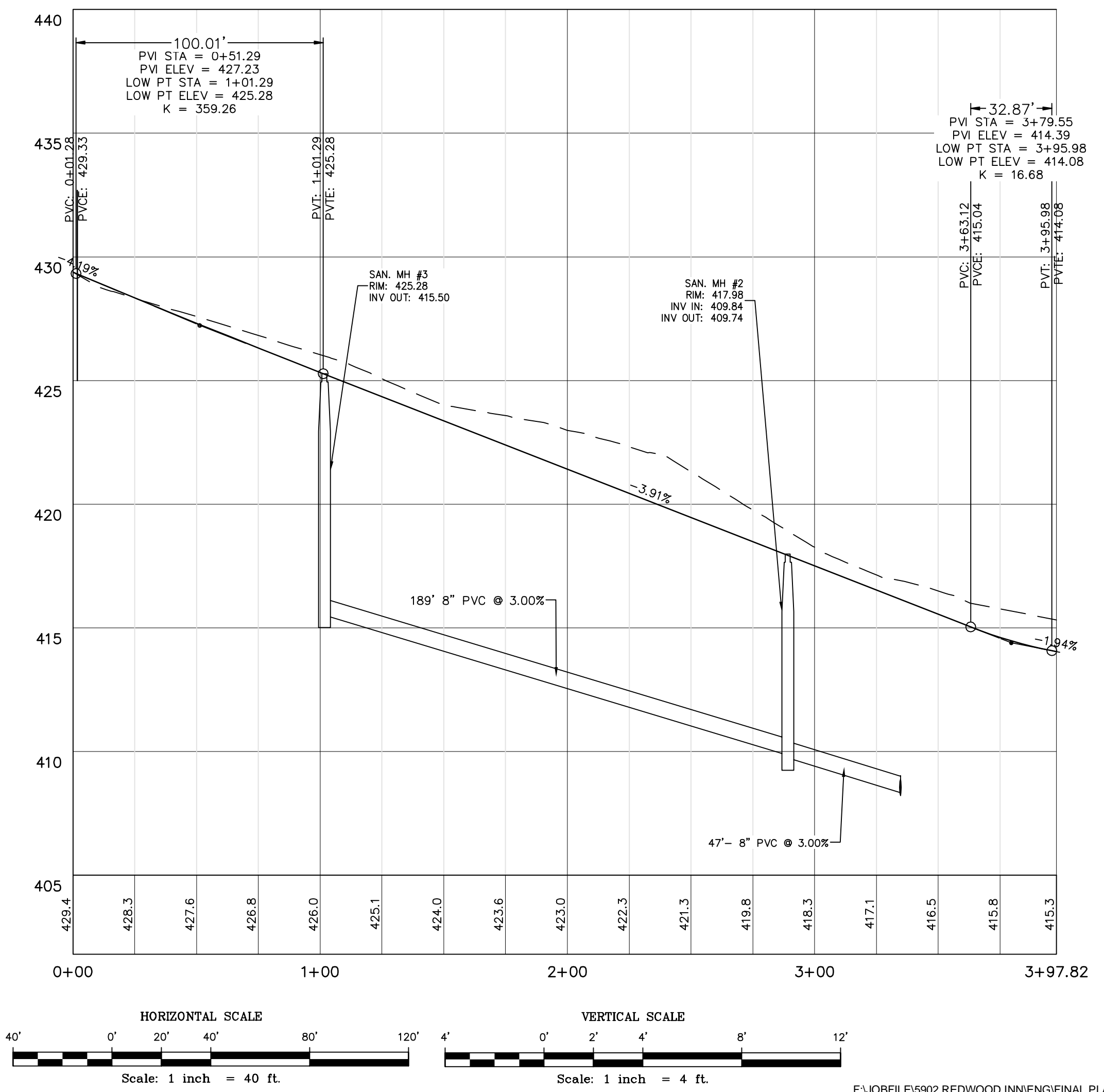
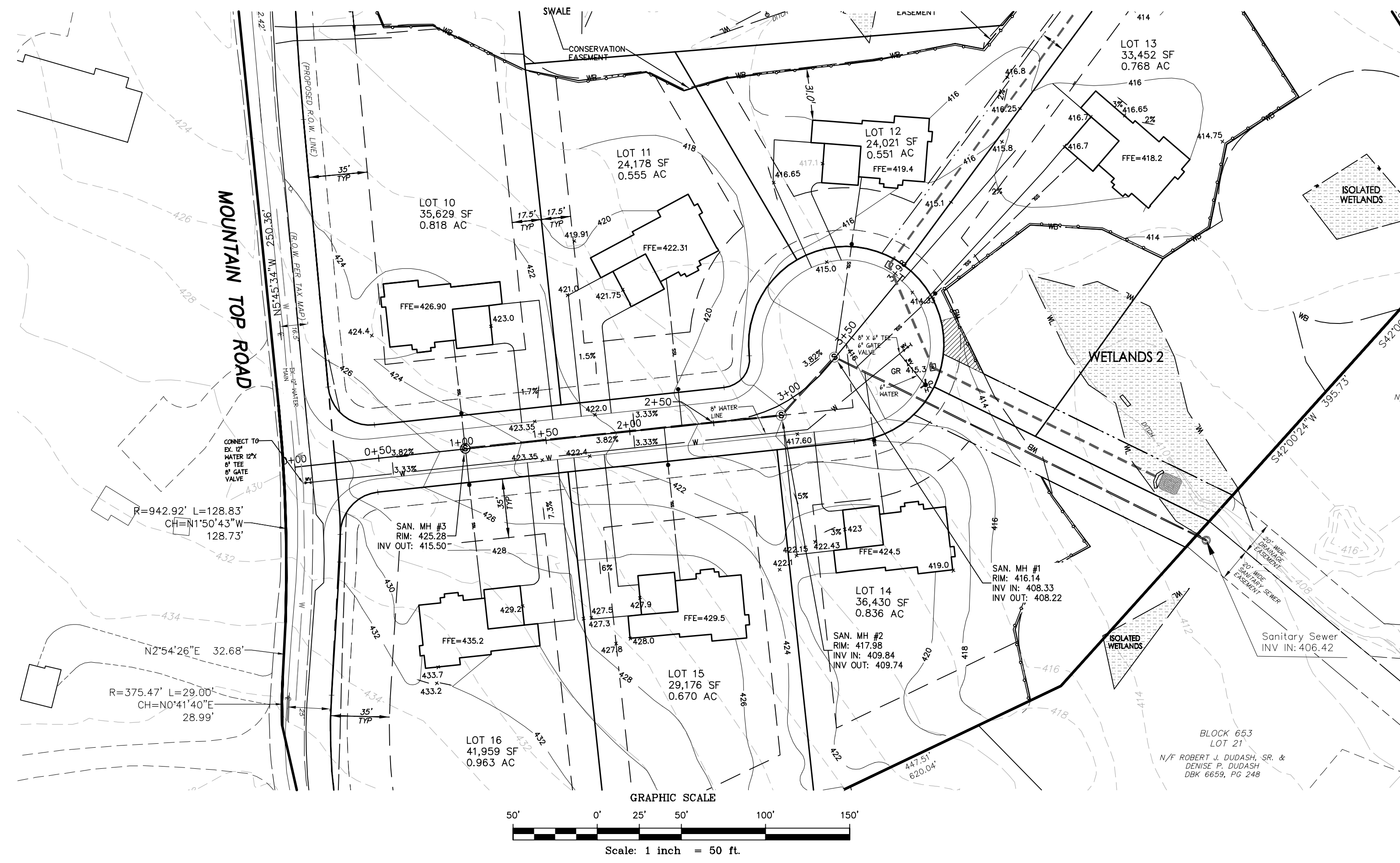
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Municipal Engineering
Land Surveying
Professional Planning
Landscape Architecture

NJ LLC CERT. No. 24GA28132300

GRADING, DRAINAGE & UTILITY PLAN
FOR
BLOCK 653 LOTS 36 & 37
SITUATED IN
BRIDGEWATER TOWNSHIP,
SOMERSET COUNTY, NEW JERSEY



		DATE: SEPTEMBER 10, 2018
		SCALE: 1" = 50'
REVISED CONSERVATION EASEMENT	M.K.F. 11/15/19	DESIGNED BY: W.C.T.
REVISED SITE LAYOUT	M.K.F. 12/7/18	DRAWN BY: T.E.
PER TOWNSHIP	W.C.T. 10/24/18	CHECKED BY: W.C.T.
REVISIONS	AUTH. DATE	JOB No. 5902

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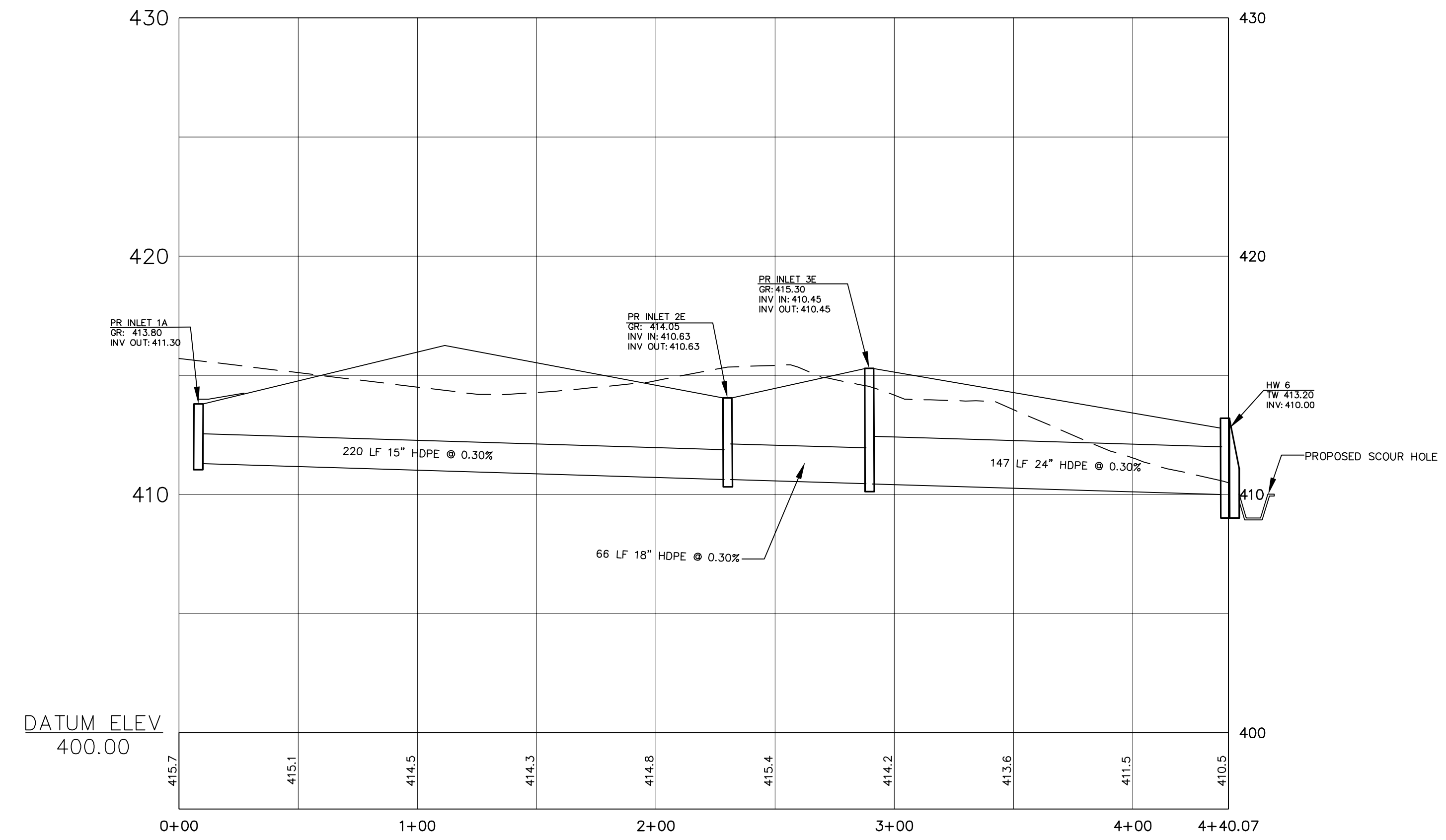
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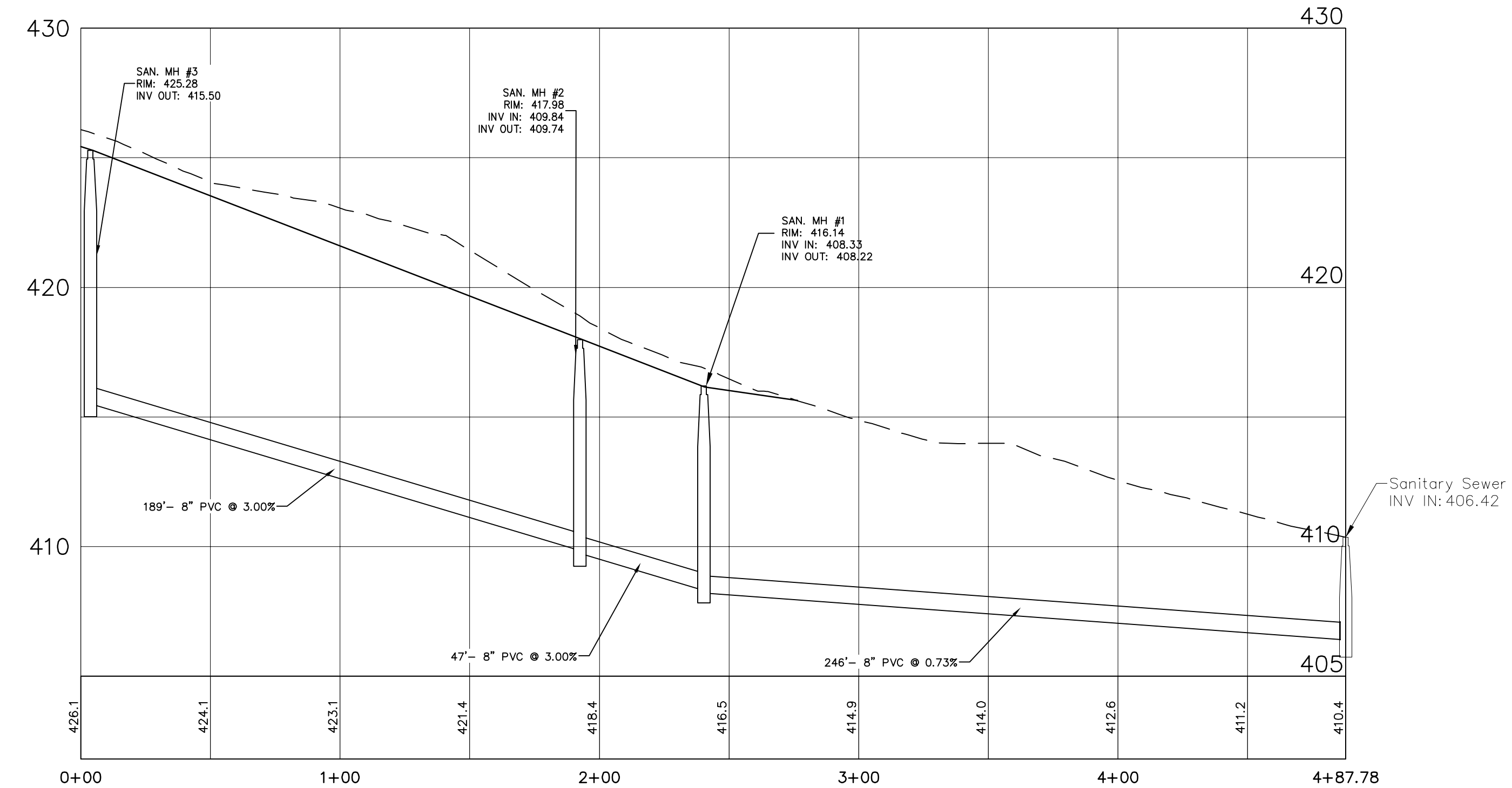
NJ LLC CERT. No. 24GA28132300

BY: *Michael K. Ford*
 Michael K. Ford
 New Jersey Professional Engineer
 No. 34722

ROAD PROFILE
 FOR
 BLOCK 653 LOTS 36 & 37
 SITUATED IN
 BRIDGEWATER TOWNSHIP,
 SOMERSET COUNTY, NEW JERSEY



PROPOSED STORM PROFILE



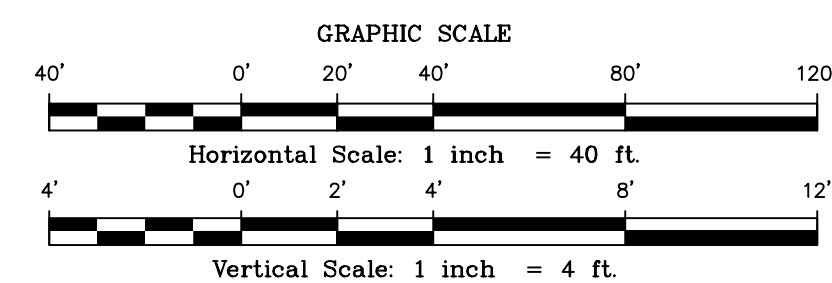
PROPOSED SANITARY PROFILE

NOTES:

1. STORM PIPES SHALL BE HIGH-DENSITY POLYETHYLENE (H.D.P.E.) WITHIN GRASS AREAS AND REINFORCED CONCRETE (R.C.P.) WITHIN THE ROAD RIGHT-OF-WAY UNLESS SPECIFICALLY NOTED OTHERWISE.
2. ALL STORM DRAINAGE INLETS AT CURBED LOCATIONS SHALL BE TYPE "B" AND TYPE "E" IN LAWN AREA UNLESS SPECIFICALLY NOTED OTHERWISE.
3. CURB UNDERDRAINS AND/OR STORM SEWER PIPE BEDDING DRAINS SHALL BE INSTALLED IF AND WHERE DEEMED NECESSARY BY THE TOWNSHIP ENGINEER AT THE TIME OF CONSTRUCTION.
4. ALL PROPOSED WATER MAINS SHALL BE MIN. 8" DIA CLASS 52 CEMENT-LINED D.I.P. UNLESS NOTED OTHERWISE.

SANITARY SEWER NOTES

1. SEE CONSTRUCTION DETAILS SHEET AND PROJECT SPECIFICATION IN ENGINEERS REPORT FOR ADDITIONAL INFORMATION.
2. ALL PROPOSED GRAVITY LATERALS SHALL BE 4 (FOUR) INCHES IN DIAMETER, WITH A MINIMUM SLOPE OF 2% (1/4 INCH PER FOOT).
3. CLEANOUTS FOR GRAVITY LATERALS SHALL BE INSTALLED BEHIND THE CURB OR EDGE OF PAVEMENT WHERE NO CURB IS PROPOSED.
4. TEST PITS MUST BE PERFORMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION, AT THE CROSSINGS OF THE EXISTING WATER MAIN WITH THE PROPOSED SEWER LATERALS TO INSURE ADEQUATE CLEARANCE.
5. FOR GRAVITY SEWER LATERALS NO FIXTURES BELOW CENTERLINE GRADE OF THE STREET WILL BE PERMITTED.
6. CONNECTION OF THE NEW SANITARY LINE INTO THE EXISTING SANITARY MANHOLE SHALL BE CORE-DRILLED.
7. PIPE DAMS SHALL BE INSTALLED A MAXIMUM OF 300 FEET APART, WITH AT LEAST ONE PIPE DAM IN BETWEEN STRUCTURES (SEE DETAIL).
8. DUCTILE IRON PIPE SHALL HAVE A HYDROGEN SULFIDE/ CORROSION RESISTANT INTERIOR LINING SUITABLE FOR SANITARY SEWER APPLICATIONS. STANDARD CEMENT LINED DUCTILE IRON PIPE WILL NOT BE PERMITTED.
9. AN APPROPRIATE TRANSITION COUPLING SHALL BE PROVIDED TO FACILITATE CHANGE IN PIPE MATERIALS FROM D.I.P. TO PVC.
10. ALL PROPOSED SANITARY SEWER LATERAL RISERS (CLEANOUTS) IN R.O.W. SHALL BE PROTECTED WITH CAST IRON RISER COVER, SEE DETAIL SHEET 14.
11. ALL CONSTRUCTION SHALL COMPLY WITH A CURRENT RULES AND REGULATIONS OF THE BRIDGEWATER TOWNSHIP SEWAGE AUTHORITY.
12. ALL LOTS WITH BASEMENTS SHALL HAVE A LATERAL CHECK VALVE INSTALLED UPSTREAM OF THE SANITARY SEWER CLEANOUT. SEE LATERAL CHECK VALVE DETAIL ON DETAILS SHEET.
13. SANITARY SEWER SHALL BE INSTALLED 10 FEET HORIZONTALLY AND 18 INCHES VERTICALLY AWAY FROM POTABLE WATER.
14. BRIDGEWATER TOWNSHIP SEWAGE AUTHORITY IS NOT RESPONSIBLE FOR THE OWNERSHIP AND MAINTENANCE OF THE SEWER SYSTEM ON THE APPLICANT'S PROPERTY.



DATE:	SEPTEMBER 10, 2018
SCALE:	SEE PLAN
DESIGNED BY:	W.C.T.
DRAWN BY:	A.B.
CHECKED BY:	W.C.T.
JOB No.	5902

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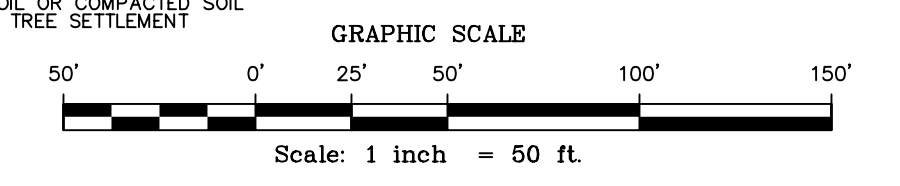
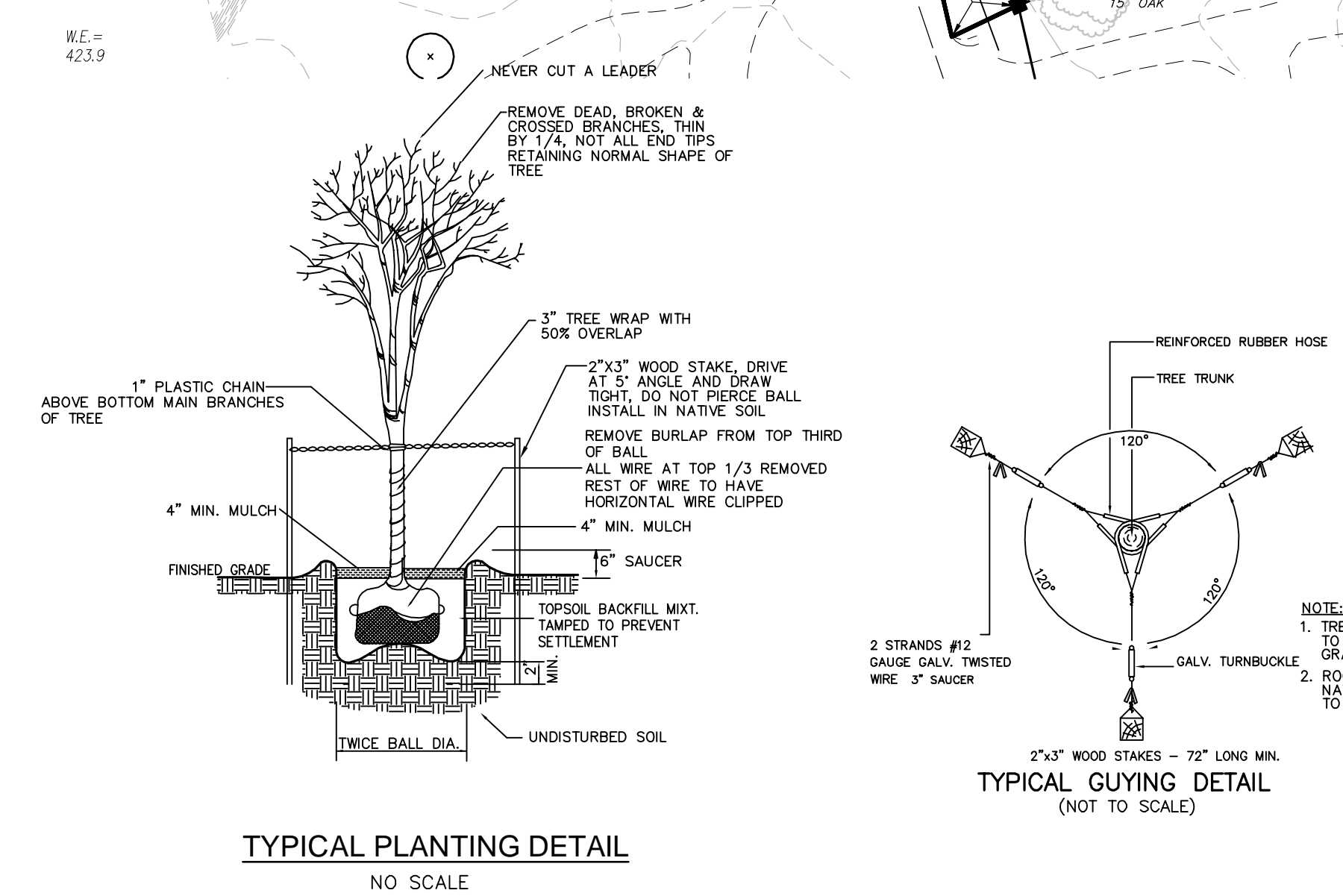
PROFILES - STORM & SANITARY
FOR
BLOCK 653 LOTS 36 & 37
SITUATED IN
BRIDGEWATER TOWNSHIP,
SOMERSET COUNTY, NEW JERSEY



- GENERAL NOTES**
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 - ANY DISCREPANCIES IN REFERENCED COORDINATES, ELEVATIONS, EXISTING DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.
 - ALL DEBRIS CONCRETE CHUNKS, TREE STUMPS, AND OTHER UNSUITABLE MATERIAL RESULTING FROM THE SITE GRADING AND EXISTING STRUCTURAL DEMOLITION SHALL BE DISPOSED OF AT AN APPROVED DISPOSAL LOCATION. NO UNSUITABLE MATERIALS SHALL BE PERMITTED TO BE BURIED ON SITE.
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 - THE PROPOSED CATCH BASIN CURB PIECES SHALL BE CONSISTENT WITH THE NEW STORMWATER MANAGEMENT RULES.
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 - ALL TRAFFIC SIGNS SHALL MEET THE STANDARDS SET FORTH IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - UNDERDRAINS WILL BE INSTALLED BENEATH THE STABILIZED BASE COURSE WHERE THE SITE CONDITIONS WARRANT THEM AS DIRECTED BY THE TOWNSHIP ENGINEER/P.
 - THE PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA.
 - STREET TREES PLANTED ON THE PROPERTY SHALL BE PLANTED AT LEAST THREE(3) FEET INSIDE THE PROPERTY LINE, BUT NOT IN ANY DRAINAGE AREAS OR ELECTRICAL BOX AREAS.
 - DRAINAGE EASEMENTS AND ALL WATERCOURSE AREAS SHALL BE CLEANED OF DEBRIS AND FALLEN LIMBS PRIOR TO ANY LAND DISTURBANCE FOR THE REVIEW AND APPROVAL OF THE TOWNSHIP PLANNER.
 - TREES TO BE SAVED SHALL BE MARKED PRIOR TO ANY LAND DISTURBANCE FOR THE REVIEW AND APPROVAL OF THE TOWNSHIP PLANNER.
 - THE POSITIONING OF PROPOSED TREES SHALL AVOID TELEPHONE, ELECTRIC, GAS LINES.
 - THE GENERAL CONTRACTOR SHALL COMPLY WITH ALL SECTIONS OF CHAPTER 14 OF THE 2006 IFC NJ EDITION WHICH INCLUDES A FIRE PREVENTION PROGRAM SUPERINTENDENT.
 - BEFORE AND DURING CONSTRUCTION/DEMOLITION, WHERE FIRE PREVENTION SYSTEMS NEED TO BE DISABLED OR TAKEN OUT OF SERVICE TO ADD OR CHANGE A SYSTEM OR TO AVOID FALSE ALARMS, THE FIRE OFFICIALS SHALL BE NOTIFIED AND THE SHUTDOWN PROCEDURES SHALL BE FOLLOWED.
 - EXISTING PUBLIC SEWER AND WATER TO BE MAINTAINED FOR PROJECT.
 - PROPOSED BUILDING DIMENSIONS TO BE VERIFIED WITH ARCHITECT PRIOR TO CONSTRUCTION.
 - THESE ARE TO BE NO FIELD CHANGES MADE UNLESS APPROVED BY THE DESIGN ENGINEER AND SUBSEQUENTLY BY THE TOWNSHIP ENGINEER.
 - EXISTING TREES ON-SITE SHALL BE PROTECTED WITH TREE PROTECTION FENCING AS NECESSARY.
 - IN BUFFER AREAS ALL TREES AND ALL UNDERSTORY VEGETATION WILL REMAIN.

- NOTES:**
- REPLACEMENT TREES ARE TO BE INSTALLED AS FOLLOWS BEFORE A CO IS ISSUED TO THE AFFECTED LOT. THESE ARE REPLACEMENT TREES, WHICH ARE IN ADDITION TO THE REQUIRED STREET TREES.
 - LOT 10 SHOULD INSTALL 8 REPLACEMENT TREES AT THE TIME A CO IS REQUESTED.
 - LOT 11 SHOULD INSTALL 8 REPLACEMENT TREES AT THE TIME A CO IS REQUESTED.
 - LOT 12 SHOULD INSTALL 5 REPLACEMENT TREES AT THE TIME A CO IS REQUESTED.
 - LOT 13 SHOULD INSTALL 13 REPLACEMENT TREES AT THE TIME A CO IS REQUESTED.
 - LOT 14 SHOULD INSTALL 0 REPLACEMENT TREES AT THE TIME A CO IS REQUESTED.
 - LOT 15 SHOULD INSTALL 0 REPLACEMENT TREES AT THE TIME A CO IS REQUESTED.
 - LOT 16 SHOULD INSTALL 12 REPLACEMENT TREES AT THE TIME A CO IS REQUESTED.
 - LOT 17 (OPEN SPACE) SHOULD RECEIVE THE TREES REMOVED FROM THE RIGHT OF WAY AS WELL AS THE TREES WITHIN THE LOT THAT ARE PROPOSED TO BE REMOVED. THERE SHOULD BE 8 TREES INSTALLED ON THIS LOT BEFORE 75% OF THE DWELLINGS HAVE BEEN SOLD (5 DWELLINGS), WHICH IS THE TIME WHEN THE RIGHTS OF THE HOMEOWNERS' ASSOCIATION KICK IN.
 - THE MAINTENANCE TIMEFRAME FOR THE PLANTINGS, INCLUDING STREET TREES, IS 2 YEARS.

- (299) Existing Tree to Remain
- (X) Existing Tree to be Removed (Includes (1) Dead Tree)
- (7) White Oak (Quercus Alba) 2-1/2" Min. Caliper
- (11) Red Maple (Acer Rubrum) 2-1/2" Min. Caliper
- (9) Sycamore (Platanus Occidentalis) 2-1/2" Min. Caliper
- (55) Replacement Trees



DATE: SEPTEMBER 10, 2018	DESIGNED BY: W.C.T.
SCALE: 1" = 50'	DRAWN BY: A.B.
PER JUNE 5, 2020 COMPLETENESS REVIEW M.K.F. 6-8-20	CHECKED BY: W.C.T.
REVISED PER NJDEP APPROVAL M.K.F. 5-28-20	JOB No. 5902
REVISED CONSERVATION EASEMENT M.K.F. 11-15-19	
REVISED SITE LAYOUT M.K.F. 12-7-18	
PER TOWNSHIP REVISIONS W.C.T. 10-24-18	
AUTH. DATE	

BY: *Michael K. Ford*
Michael K. Ford
New Jersey Professional Engineer
No. 34722

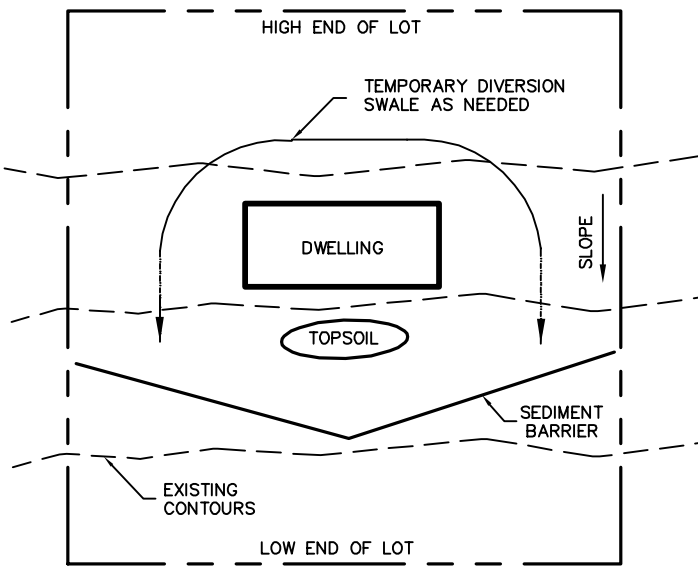
Van Cleef
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With Offices In
New Jersey, Pennsylvania & Delaware

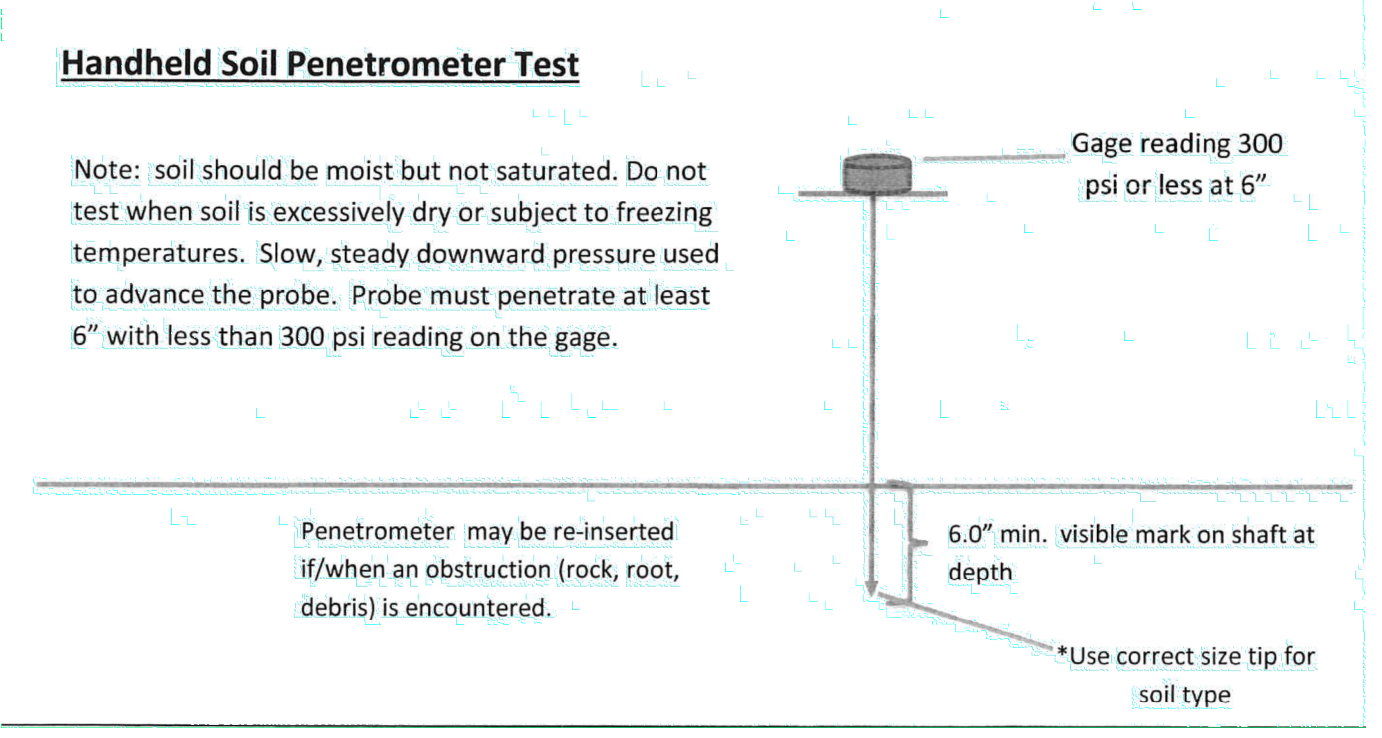
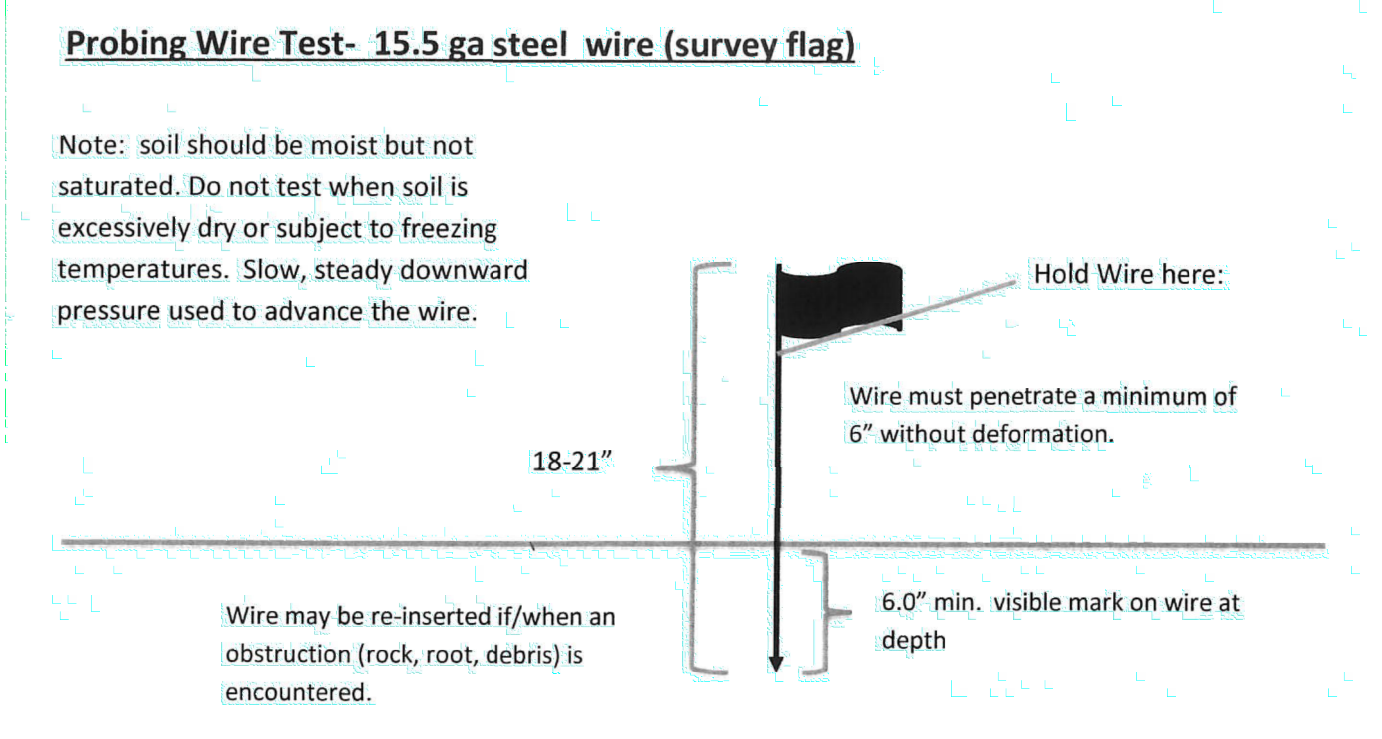
Consulting Civil Engineering
Bridge Design
Highway Design
Construction Inspection
Geotechnical Engineering
Water / Wastewater
Municipal Engineering
Land Surveying
Professional Planning
Landscape Architecture
NJ LLC CERT. No. 24GA28132300

LANDSCAPE PLAN
FOR
BLOCK 653 LOTS 36 & 37
SITUATED IN
BRIDGEWATER TOWNSHIP,
SOMERSET COUNTY, NEW JERSEY



SOIL EROSION + SEDIMENTATION CONTROL FOR INDIVIDUAL LOTS
NOT TO SCALE

- NOTES:**
1. Rough grade the area for the driveway (to serve as stabilized construction entrance)
 2. Construct stabilized construction entrance consisting of crushed stone - ASTM C-33, Size No. 3, 4" deep. Minimum 50' long.
 3. Strip topsoil in the immediate area required for building construction and stoicite stoopie.
 4. Rough grade the immediate area required for building construction. Minimize disturbance of existing vegetative cover of the balance of the lot during the building construction period to prevent soil erosion and to serve as a natural sediment barrier.
 5. Install hay bale sediment barriers for conditions where the existing ground cover will not serve as a natural sediment filter or where the rough grading of the entire lot is desirable during early stages of building construction.
 6. When building construction is nearing completion, rough and final grade the balance of the lot, preserving as many existing trees as possible.
 7. Topsoil, seed and mulch all disturbed areas immediately following final grading.



Soil De-compaction and Testing Requirements

Soil Compaction Testing Requirements

1. Subgrade soils **prior to the application of topsoil** (see permanent seeding and stabilization notes for topsoil requirements) shall be free of excessive compaction to a depth of 6.0 inches to enhance the establishment of permanent vegetative cover.
2. Areas of the site which are subject to compaction testing and/or mitigation are **graphically denoted** on the certified soil erosion control plan.
3. **Compaction testing locations** are denoted on the plan. A copy of the plan or portion of the plan shall be used to mark locations of tests, and attached to the compaction remediation form, available from the local soil conservation district. This form must be filled out and submitted prior to receiving a certificate of compliance from the district.
4. In the event that testing indicates compaction in excess of the maximum thresholds indicated for the simplified testing methods (see details below), the contractor/owner shall have the option to perform either (1) compaction mitigation over the entire mitigation area denoted on the plan (excluding exempt areas), or (2) perform additional, more detailed testing to establish the limits of excessive compaction whereupon only the excessively compacted areas would require compaction mitigation. Additional detailed testing shall be performed by a trained, licensed professional.

Compaction Testing Methods

- A. Probing Wire Test (see detail)
- B. Hand-held Penetrometer Test (see detail)
- C. Tube Bulk Density Test (licensed professional engineer required)
- D. Nuclear Density Test (licensed professional engineer required)

Note: Additional testing methods which conform to ASTM standards and specifications, and which produce a dry weight, soil bulk density measurement may be allowed subject to District approval.

Soil compaction testing is not required if/when subsoil compaction remediation (scarification/tillage (6" minimum depth) or similar) is proposed as part of the sequence of construction.

Procedures for Soil Compaction Mitigation

Procedures shall be used to mitigate excessive soil compaction **prior to placement of topsoil** and establishment of permanent vegetative cover.

Restoration of compacted soils shall be through deep scarification/tillage (6" minimum depth) where there is no danger to underground utilities (cables, irrigation systems, etc.). In the alternative, another method as specified by a New Jersey Licensed Professional Engineer maybe substituted subject to District Approval.

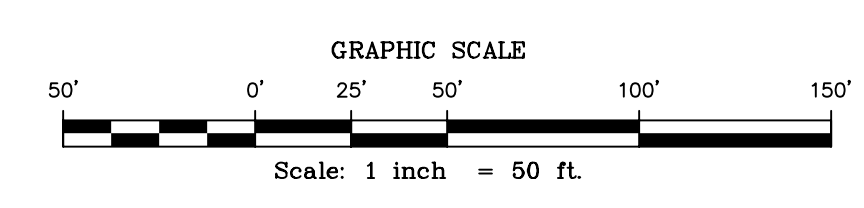
LEGEND:

- | | | | | |
|--|--|-------------------------|--|--------------------------|
| | | EXISTING CONTOUR | | SPOT ELEVATION |
| | | DRAINAGE FLOW DIRECTION | | INLET |
| | | MANHOLE | | EDGE OF PAVEMENT |
| | | STORM SEWER | | TRAFFIC SIGN |
| | | HYDRANT | | LIMIT OF DISTURBANCE |
| | | SPOT ELEVATION | | TOP OF CASTING ELEVATION |
| | | DRAINAGE FLOW DIRECTION | | TOP OF GRATE ELEVATION |
| | | TREE/WOOD LIMIT LINE | | DEPRESSED CURB |
| | | INLET | | INLET WITH SEDIMENT TRAP |
| | | MANHOLE | | |
| | | HEADWALL | | |
| | | EDGE OF PAVEMENT | | |
| | | STORM SEWER | | |
| | | UTILITY POLE | | |
| | | TRAFFIC SIGN | | |
| | | HYDRANT | | |

NOTES:

THIS PLAN TO BE USED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY. SEE SHEET 10 FOR SOIL EROSION DETAILS AND NOTES.

TOTAL LIMIT OF DISTURBANCE = 214,683 SF (4.928 AC.)



PER JUNE 5, 2020 COMPLETENESS REVIEW	M.K.F.	6-8-20	DATE: SEPTEMBER 10, 2018
PER NJDEP APPROVAL	M.K.F.	5-28-20	SCALE: 1" = 50'
REVISED CONSERVATION EASEMENT	M.K.F.	11-15-19	DESIGNED BY: W.C.T.
REVISED SITE LAYOUT	M.K.F.	12-7-18	DRAWN BY: A.B.
PER TOWNSHIP	W.C.T.	11-21-18	CHECKED BY: W.C.T.
PER TOWNSHIP	W.C.T.	10-24-18	JOB No. 5902
REVISIONS	AUTH.	DATE	

BY: *Michael K. Ford*
Michael K. Ford
New Jersey Professional Engineer
No. 34722

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NJ LLC CERT. No. 24GA28132300

SOIL EROSION CONTROL PLAN
FOR
BLOCK 653 LOTS 36 & 37
SITUATED IN
BRIDGEWATER TOWNSHIP,
SOMERSET COUNTY, NEW JERSEY

GENERAL NOTES FOR SOIL EROSION AND SEDIMENT CONTROL PLANS

- ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES APPLICABLE TO THIS PROJECT SHALL BE IN ACCORDANCE WITH "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY" ADOPTED, REVISED JULY 1999, BY THE NEW JERSEY SOIL CONSERVATION COMMITTEE.
- THESE STANDARDS SHALL SPECIFICALLY APPLY TO ALL:
 - TEMPORARY AND PERMANENT REVEGETATION
 - LAND GRADING
 - DIVERSIONS
 - SEEDING
- ALL SEDIMENT AND EROSION CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- PERMANENT REVEGETATION FOR ALL EXPOSED AREAS SHALL COMMENCE TEN (10) DAYS AFTER FINAL GRADING OR IF AREAS ARE TO BE ROUGH OR STOCKPILES OF SOIL OR EXCEED THIRTY (30) DAYS, TEMPORARY REVEGETATION SHALL BE REQUIRED AND PROTECTION BY A BERM AT THE BASE OF THE PILE, IF NECESSARY. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
- ALL SEDIMENT FILTER CONTROL SHALL BE IN PLACE PRIOR TO GRADING OPERATIONS AND INSTALLATION OF UTILITIES.
- USE TOPSOIL TO CREATE DIVERSION BERMS RATHER THAN STOCKPILING.
- THE FILL MATERIAL SHALL BE TAKEN FROM THE SITE AND IT SHALL BE FREE OF WOODY VEGETATION, ROOTS, STONES OVER 6 INCHES OR OTHER OBJECTIONABLE MATERIAL. AREAS ON WHICH FILL IS TO BE PLACED SHALL BE SCARIFIED PRIOR TO PLACEMENT OF FILL. THE FILL MATERIAL SHALL CONTAIN SUFFICIENT MOISTURE FOR PROPER COMPACTION.
- ALL DISTURBED AREAS SHALL REMAIN IN ROUGH GRADED CONDITION AND TEMPORARILY SEEDED AND/OR MULCHED UNTIL PROPER WEATHER CONDITIONS EXIST FOR ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- PROTECTED INLETS ARE TO BE CLEANED OF EXCESSIVE SILT ACCUMULATION IF AND WHEN NECESSARY.
- A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS.
- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN CONSTRUCTION TRACKING FILTERS THROUGHOUT DURATION OF PROJECT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION AND MAINTENANCE OF SOIL EROSION FACILITIES DURING CONSTRUCTION.
- AFTER THE PROJECT HAS BEEN COMPLETED, THE GENERAL CONTRACTOR SHALL HAVE THE RESPONSIBILITY FOR INSURING THAT ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES ARE IN PROPER WORKING ORDER AND THAT ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN REMOVED OR REPLACED BY PERMANENT CONTROLS.
- ALL DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTIVE TRAFFIC WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHING OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE STATE STANDARDS.
- SOIL EROSION AND SEDIMENT CONTROL SHALL INCLUDE, BUT NOT BE LIMITED TO, THE ABOVE MEASURES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO CORRECT ANY OMISSIONS, ERRORS OR SUBSEQUENT FIELD OPERATIONS WHICH MIGHT DEVIATE FROM THE INTENT OF THIS LAW. THE GENERAL CONTRACTOR SHALL CORRECT SAID OMISSIONS, ERRORS OR FIELD OPERATIONS IMMEDIATELY AND IN ACCORDANCE WITH THE NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
- SEEDBED PREPARATION SHALL CONFORM TO THE "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY".
- A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT THE SUBBASE SHALL BE INSTALLED WITHIN 15 DAYS OF THE PRELIMINARY GRADING.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCES OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (IE STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE ACCORDING TO STATE STANDARDS.
- ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (IE SLOPES GREATER THAN 3:1).
- TRAFFIC CONTROL STANDARDS REQUIRE THE INSTALLATION OF A TRACKING PAD OF SIZE NO. 2 OR 3 STONE AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE (SEE DETAIL).
- IN ACCORDANCE WITH THE STANDARD FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING SULFIDES SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO SEEDBED PREPARATION.
- THE SOMERSET-UNION SOIL CONSERVATION DISTRICT, 308 MILLTOWN ROAD, BRIDGEWATER, NEW JERSEY, SHALL BE NOTIFIED IN WRITING 72 HOURS PRIOR TO CONSTRUCTION.
- AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER.

IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.

IN THAT N.J.S.A. 4:24 ET SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH 4 PERMANENT MEASURES, ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.

AGRONOMIC RECOMMENDATIONS

- SEED, FERTILIZE, LIME AND TOPSOIL (IF REQUIRED) ALL SCALPED AREAS IMMEDIATELY AFTER FINISHED GRADING IS COMPLETED. LIME AND FERTILIZER RECOMMENDATIONS ARE AS FOLLOWS OR ACCORDING TO RESULTS OF SOIL TESTS:
- FERTILIZER TO BE APPLIED AT THE RATE OF 500 LBS. PER ACRE, 10-20-10.
 - TEMPORARY SEEDING:
 - LIME: 2 TONS PER ACRE GROUND AREA
 - FERTILIZER: 500 LBS. PER ACRE 10-20-10
 - SEED: USE THE FOLLOWING SEED MIXTURE(S) AND RATES BASED ON TIME OF YEAR:
 - EARLY SPRING/LATE SUMMER TO EARLY FALL: 100% PERENNIAL RYEGRASS, RATE = 100 LBS./ACRE
 - LATE FALL: 100% CEREAL RYE, RATE = 112 LBS./ACRE
 - MD-SUMMER: 40% PEARL MILLET, 40% MILLET (GERMAN OR HUNGARIAN), 20% WEEPING LOVEGRASS, RATE = 100 LBS./ACRE
 - PERMANENT SEEDING: (TO BE APPLIED DURING PERIODS OF 3/01 - 11/15, TEMPORARY SEEDING TO BE APPLIED ALL OTHER TIMES OF THE YEAR)
 - LIME: 2 TONS PER ACRE GROUND AREA
 - FERTILIZER: 500 LBS. PER ACRE 10-20-10
 - SEED: LAWNS - QUALITY SUN AND SHADE, 45% PERENNIAL RYEGRASS, 20% CHEWING FESCUE, 20% CREEPING RED FESCUE, 15% KENTUCKY BLUEGRASS (* INCLUDE AT LEAST TWO DIFFERENT VARIETIES IN MIX), RATE = 200 LBS./ACRE

MINIMUM STABILIZATION REQUIREMENTS

- GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION AND ANCHORING AND MAINTENANCE. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.

- INSTALL NEEDED EROSION CONTROL PRACTICES AND FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS AND WATERWAYS.

II. SEEDBED PREPARATION

- APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS THOSE OFFERED BY RUTGERS UNIVERSITY SOIL TESTING LABORATORY. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL COOPERATIVE EXTENSION SERVICE OFFICE. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITE OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. APPLY LIMESTONE AS FOLLOWS:

SOIL TEXTURE	TONS/ACRE	LBS./1,000 SQ. FT.
CLAY, CLAY LOAM AND HIGH ORGANIC SOIL	3	135
SANDY LOAM, LOAM, SILT LOAM	2	90
LOAMY SAND, SAND	1	45

- PULVERIZED DOLOMITIC LIMESTONE IS PREFERRED FOR MOST SOILS SOUTH OF THE NEW BRUNSWICK-TRENTON LINE.
- WORK LINE AND FERTILIZER INTO SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM, FINE SEEDBED IS PREPARED. ALL BUT CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.
- REMOVE FROM THE SURFACE ALL STONES 2 INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS OR OTHER UNSUITABLE MATERIAL.
- INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.

ACID SOIL CONDITIONS

SOILS HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE BEFORE SEEDBED PREPARATION. THE ADDED SOIL SHALL BE LIMED AS ABOVE.

III. SEEDING

- SEE AGRONOMIC RECOMMENDATIONS OR USE MIXTURE RECOMMENDED BY THE COOPERATIVE EXTENSION SERVICE OR SOIL CONSERVATION SERVICE WHICH IS APPROVED BY THE SOIL CONSERVATION DISTRICT.
- APPLY SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL, CULTIPACKER SEEDER OR HYDROSEEDER. THE LATTER MAY BE JUSTIFIABLE FOR LARGE, STEEP AREAS WHERE CONVENTIONAL VEHICLES CANNOT TRAVEL. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED, EXCEPT FOR DRILLED, HYDROSEEDER OR CULTIPACKED SEEDINGS. SEED SHALL BE INCORPORATED INTO THE SOIL, TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/2 INCH DEEPER ON COARSE TEXTURED SOIL.
- AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.

IV. MULCHING

MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. (THE EXISTENCE OF SATISFACTORY PERMANENT VEGETATION AT THE TIME OF PROJECT OR UNIT COMPLETION SHALL BE DEEMED AS COMPLIANCE WITH THIS MULCHING REQUIREMENT).

- MULCH MATERIALS SHOULD BE UNROTTED SMALL GRAINS OF STRAW, HAY FREE OF SEEDS OR SALT HAY TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION MUST BE DOUBLE THE LOWER RATE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MATERIAL.
- SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 75 PERCENT TO 95 PERCENT OF THE SOIL SURFACE WILL BE COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.
- MULCH ANCHORING SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES AND COSTS.
 - PEG AND TWINE - DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
 - MULCH NETTINGS - STAPLE PAPER, JUTE, COTTON OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.
 - CRIMPER (MULCH ANCHORING TOOL) - A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC-HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL, SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.
 - LIQUID MULCH-BINDERS - MAYBE USED TO ANCHOR SALT HAY, HAY OR STRAW MULCHES.
 - APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS AND AT CRESTS OF BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.
 - USE OF THE FOLLOWING:
 - SYNTHETIC OR ORGANIC BINDERS - BINDERS SUCH AS CURASOL, DCA-70, PETRO-SET AND TERRA-TACK MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS.

NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

- WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE MAY BE APPLIED BY A HYDROSEEDER. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.

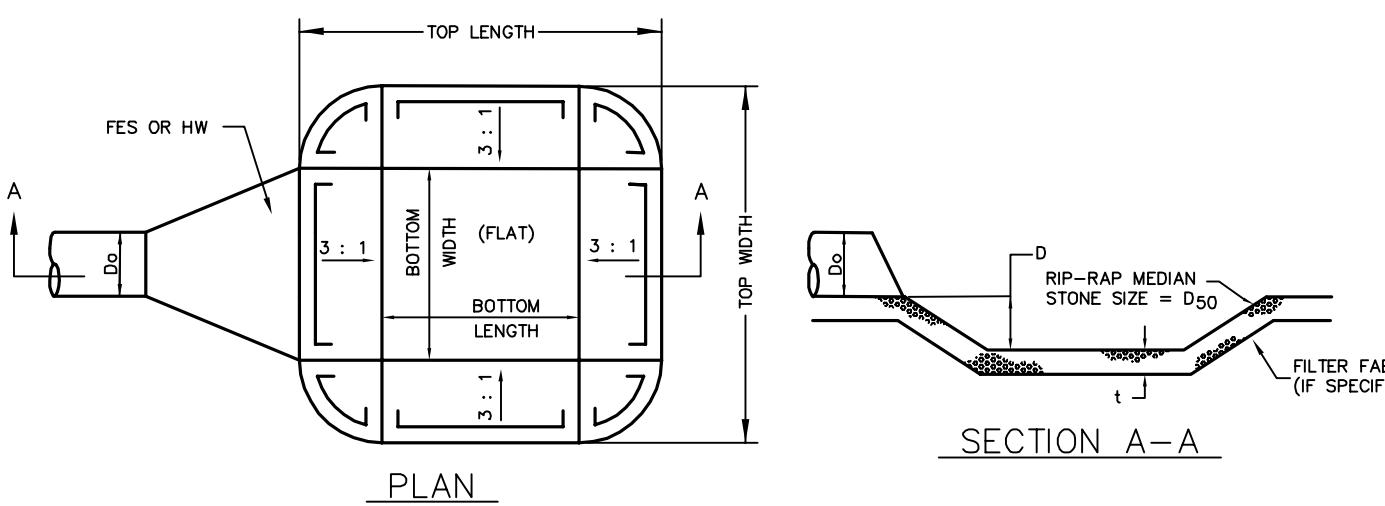
- IRRIGATION (WHERE FEASIBLE)
 - IF SOIL MOISTURE IS DEFICIENT AND MULCH IS NOT USED, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER (A MINIMUM OF 1/4 INCH TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED). THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE IN ABNORMALLY DRY OR HOT WEATHER OR ON DROUGHTY SITES.
- TOPDRESSING*
 - SPRING SEEDINGS WILL REQUIRE AN APPLICATION OF FERTILIZER SUCH AS 10-10-10 OR EQUIVALENT AT 400 POUNDS PER ACRE OR 10 POUNDS PER 1,000 SQUARE FEET BETWEEN SEPTEMBER 1 AND OCTOBER 15.
 - FALL SEEDINGS WILL REQUIRE THE ABOVE BETWEEN MARCH 15 AND MAY 1.
 - MIXTURES DOMINATED BY WEEPING LOVEGRASS OR LEGUMES MAY NOT NEED TOPDRESSING.
 - BERMUDAGRASS SHOULD BE TOPDRESSED BEFORE AUGUST 15.

*IF SLOW RELEASE NITROGEN (300 POUNDS 38-0-0 PER ACRE OR EQUIVALENT) IS USED IN ADDITION TO SUGGESTED FERTILIZER, THIS FOLLOW-UP OF TOPDRESSING IS NOT MANDATORY.

SEQUENCE OF CONSTRUCTION

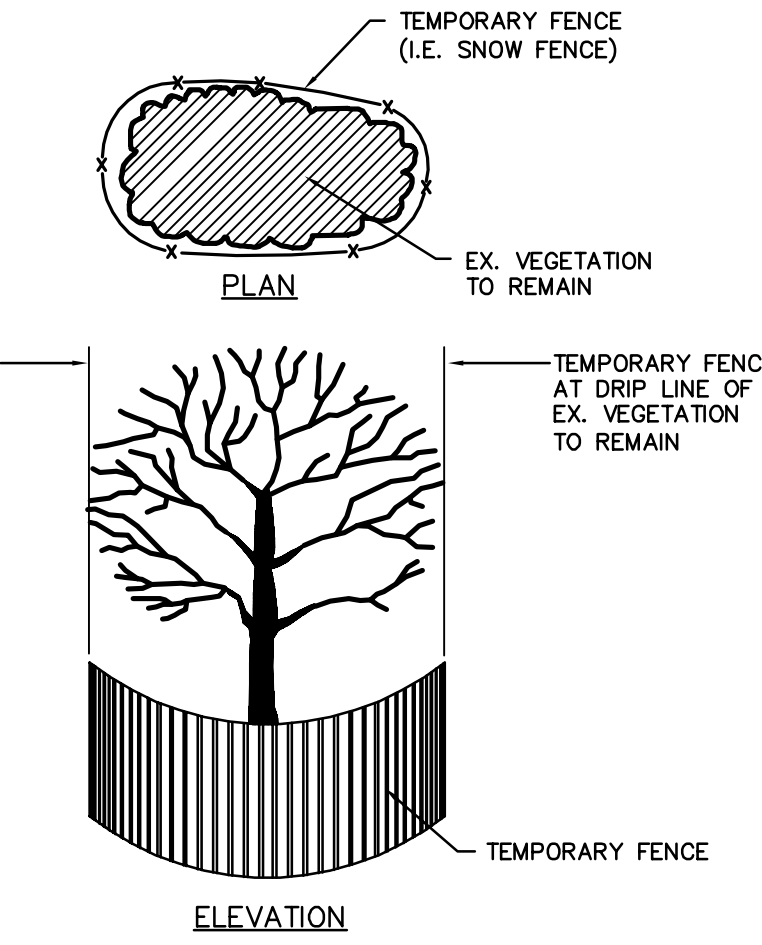
- INSTALL ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON PLANS.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ON THE SOIL EROSION SEDIMENT CONTROL PLANS AND DETAILS.
- OBTAIN ALL NECESSARY PERMITS FROM BRIDGEWATER TOWNSHIP CODE OFFICIALS AND HEALTH DEPARTMENT TO DEMOLISH ALL BUILDINGS ON SITE.
- ROUGH GRADE SITE AND CONSTRUCT STORM DRAINAGE SYSTEM.
- CONSTRUCT ALL ONSITE UTILITIES. SOIL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED AS CONSTRUCTION PROGRESSES.
- CONSTRUCT STRUCTURE(S). SOIL EROSION SEDIMENT CONTROL DEVICES SHALL BE INSTALLED AS CONSTRUCTION PROGRESSES.
- FINE GRADE AND STABILIZE ALL DISTURBED AREAS IN ACCORDANCE WITH THE MINIMUM STABILIZATION REQUIREMENTS. NOTE: SOIL DECOMPACTION TESTING AND/OR MITIGATION SHALL BE PRIOR TO TOPSOILING AND PERMANENT STABILIZATION; AND TEMPORARY STABILIZATION WILL BE REQUIRED ON CLEARED AREAS REMAIN INACTIVE 30 DAYS.
- CLEAN SITE AND REGRADE.
- STABILIZE ANY REMAINING DISTURBED AREAS.
- REMOVE ALL SOIL EROSION AND SEDIMENT CONTROL DEVICES.
- INSTALL F.A.B.C. TOP COURSE PAVING FOR DRIVEWAY.

ESTIMATED DURATION OF PROJECT - 18 MONTHS

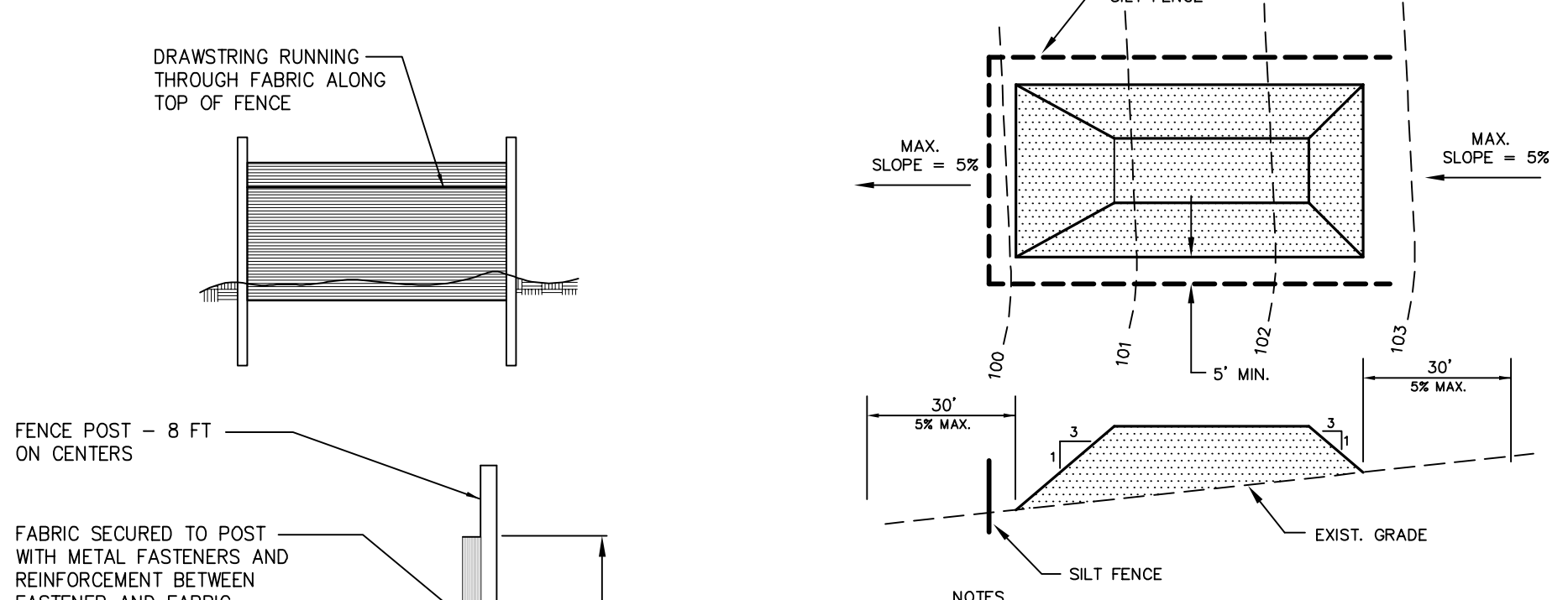


OUTLET HW #4	D ₅₀	D	BOTTOM LENGTH	BOTTOM WIDTH	TOP LENGTH	TOP WIDTH	D ₅₀	t	FILTER FABRIC
	2.0'	1.0'	6.0'	4.0'	12.0'	10.0'	3"	11"	YES

PREFORMED SCOUR HOLE AND SCHEDULE
NOT TO SCALE



TREE PROTECTION BARRIER DETAIL
N.T.S.

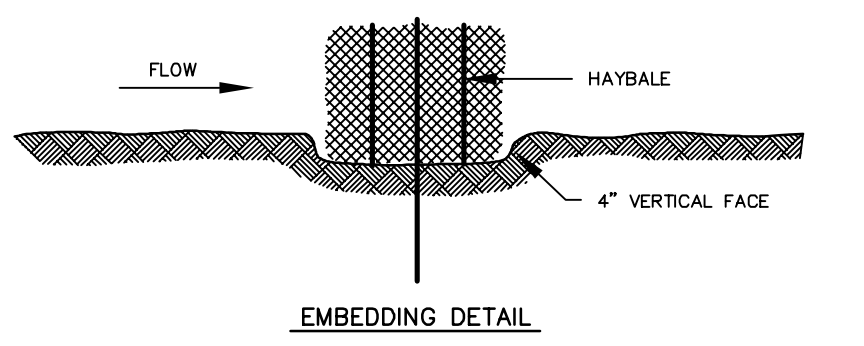


SILT FENCE CONSTRUCTION AND INSTALLATION DETAIL
NOT TO SCALE

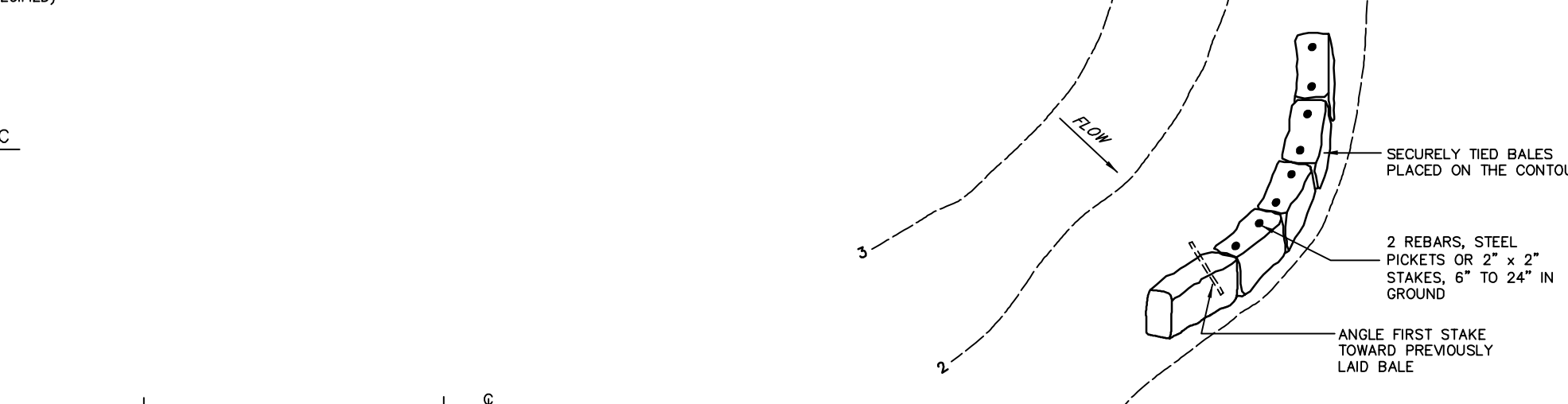
- NOTES**
- PLACE SILT FENCE AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
 - ALL SIDE SLOPES SHALL BE 3 TO 1 OR FLATTER.
 - STOCKPILE SHALL RECEIVE A VEGETATIVE COVER IN ACCORDANCE WITH MINIMUM STABILIZATION REQUIREMENTS.
 - SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS THE FENCE AROUND ITS ENDS.

TOPSOIL STOCKPILE
NOT TO SCALE

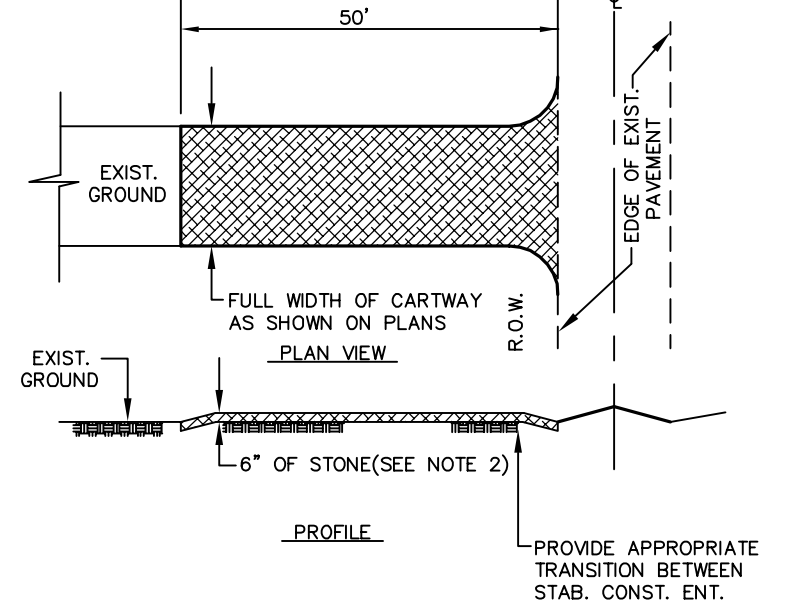
- NOTES**
- PLACE STOCKPILES AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
 - ALL SIDE SLOPES SHALL BE 3 TO 1 OR FLATTER.
 - STOCKPILE SHALL RECEIVE A VEGETATIVE COVER IN ACCORDANCE WITH MINIMUM STABILIZATION REQUIREMENTS.
 - SILT FENCE SHALL BE INSTALLED AS DETAILED HEREON.



EMBEDDING DETAIL
NOT TO SCALE

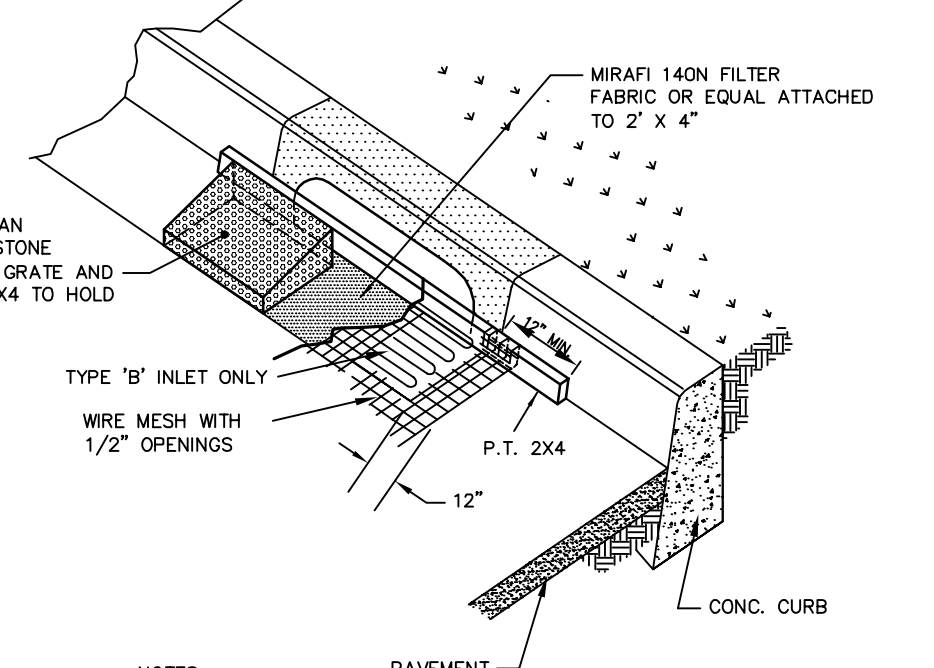


PLACEMENT AND ANCHORING DETAIL BALE SEDIMENT BARRIERS
NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

- NOTES**
- PLACE STABILIZED CONSTRUCTION ENTRANCE AT LOCATION(S) AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
 - STONE SIZE SHALL BE ASTM C-33, SIZE NO. 2 OR 3, CRUSHED STONE.
 - THE THICKNESS OF THE STAB. CONST. ENT. SHALL NOT BE LESS THAN 6".
 - THE WIDTH AT THE EXIST. PAVEMENT SHALL NOT BE LESS THAN THE FULL WIDTH OF POINT OF INGRESS AND EGRESS.
 - THE STAB. CONST. ENT. SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE R.O.W./PAVEMENT. THIS REQUIRES PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT.
 - ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO THE PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY.
 - WHERE TRACKING OF SOIL ONTO ROADWAYS IS A CONTINUAL OCCURRENCE, ALL CONTRACTORS, BOTH SITE AND DWELLING CONTRACTORS, SHALL BE REQUIRED TO BROOMSWEEP THE ROADWAY AT TWO-HOUR INTERVALS MINIMUM AND PRIOR TO LEAVING THE CONSTRUCTION SITE AT THE DAY END.



INLET FILTER AFTER PAVING
NOT TO SCALE

- NOTES**
- PLACE INLET FILTERS AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
 - STONE SHALL BE PILED SO THAT ALL OPENINGS IN THE INLET ARE NOT COMPLETELY COVERED AND FILTER POSITION TO ALLOW FLOW INTO THE CATCH BASIN.
 - INLETS ARE TO BE CLEANED AFTER EVERY STORM.

PER	DATE	DATE	DATE
PER JUNE 5, 2020 COMPLET. REVIEW	M.K.F	6/8/20	SCALE: 1" = 50'
REVISED SITE LAYOUT	M.K.F	12/7/18	DESIGNED BY: W.C.T.
PER TOWNSHIP	W.C.T.	11/21/18	DRAWN BY: A.B.
PER TOWNSHIP	W.C.T.	10/24/18	CHECKED BY: W.C.T.
REVISIONS	AUTH.	DATE	JOB No. 5902

Van Cleef
ENGINEERING ASSOCIATES, LLC

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NJ LLC CERT. No. 24GA28132300

SOIL EROSION AND SEDIMENT CONTROL DETAILS
FOR
BLOCK 653 LOTS 36 & 37
SITUATED IN
**BRIDGEWATER TOWNSHIP,
SOMERSET COUNTY, NEW JERSEY**

BY: *Michael K. Ford*
Michael K. Ford
New Jersey Professional Engineer
No. 34722

DATE: SEPTEMBER 10, 2018

SCALE: 1" = 50'

DESIGNED BY: W.C.T.

DRAWN BY: A.B.

CHECKED BY: W.C.T.

JOB No. 5902

10



Neil I. Van Cleef, P.E., L.S. & P.P.
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July 27, 2020

**Metes and Bounds Description for
Wetland Buffer Compensation Area #1
Located in Block 653, Lots 36 & 37
Bridgewater Township, Somerset County, New Jersey**

Beginning at a point in the northerly property line of Proposed Lot 10, Block 653 as shown on the NJDEP Permit Plan for Block 653, Lots 36 and 37 referenced herein. Said point being distant 40.92 feet on a bearing of North 85 degrees 22 minutes 21 seconds East from a concrete monument found in the easterly right of way line of Mountain Top Road at the northwesterly corner of Proposed Lot 10 and runs, thence;

1. Through and across Lot 10, South 40 degrees 05 minutes 43 seconds East a distance of 13.70 feet to a point, thence;
2. Continuing through and across Lot 10, South 55 degrees 50 minutes 38 seconds East a distance of 13.70 feet to a point, thence;
3. Continuing through and across Lot 10, South 63 degrees 43 minutes 02 seconds East a distance of 24.10 feet to a point, thence;
4. Continuing through and across Lot 10, South 89 degrees 20 minutes 36 seconds East a distance of 15.10 feet to a point, thence;
5. Through and across Lot 10, South 86 degrees 21 minutes 07 seconds West a distance of 13.92 feet to a point, thence;
6. Continuing through and across Lot 10, North 23 degrees 08 minutes 42 seconds West a distance of 32.52 feet to a point, thence;

Containing 320 square feet of land more or less.

This description has been prepared in accordance with the plan entitled "NJDEP Permit Plan for Block 653, Lots 36 and 37 situated in Bridgewater Township, Somerset County, New Jersey" by Van Cleef Engineering Associates, LLC, and dated December 6, 2018, last revised November 26, 2019. The Permit Plan was approved by NJDEP on January 21, 2020 for Permit Number 1806.08.0004.1.

Christopher A. Melick, Professional Land Surveyor
New Jersey License No. 24GS03586000

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**Metes and Bounds Description for
Wetland Buffer Compensation Area #2
Located in Block 653, Lots 36 & 37
Bridgewater Township, Somerset County, New Jersey**

Beginning at a point in the common property line between Proposed Lots 11 and 12, Block 653 as shown on the NJDEP Permit Plan for Block 653, Lots 36 and 37 referenced herein. Said point being distant 66.61 feet on a bearing of South 30 degrees 22 minutes 08 seconds East from the northeasterly corner Of Lot 11 and runs, thence;

1. Through and across Lot 12, North 73 degrees 58 minutes 34 seconds East a distance of 25.19 feet to a point, thence;
2. Continuing through and across Lot 12, North 81 degrees 06 minutes 16 seconds East a distance of 13.73 feet to a point, thence;
3. Continuing through and across Lot 12, South 26 degrees 54 minutes 23 seconds East a distance of 16.47 feet to a point, thence;
4. Continuing through and across Lot 12, South 83 degrees 12 minutes 46 seconds West a distance of 17.94 feet to a point, thence;
5. Through and across Lot 11, South 73 degrees 57 minutes 45 seconds West a distance of 27.22 feet to a point, thence;
6. Continuing through and across Lot 11, North 63 degrees 47 minutes 25 seconds West a distance of 24.73 feet to a point, thence;
7. Continuing through and across Lot 11, North 83 degrees 00 minutes 38 seconds East a distance of 10.32 feet to a point, thence;
8. Continuing through and across Lot 11, North 73 degrees 58 minutes 34 seconds East a distance of 11.12 feet to the point and place of beginning.

Containing 788 square feet of land more or less.

This description has been prepared in accordance with the plan entitled "NJDEP Permit Plan for Block 653, Lots 36 and 37 situated in Bridgewater Township, Somerset County, New Jersey" by Van Cleef Engineering Associates, LLC, and dated December 6, 2018, last revised November 26, 2019. The Permit Plan was approved by NJDEP on January 21, 2020 for Permit Number 1806.08.0004.1.

Christopher A. Melick, Professional Land Surveyor
New Jersey License No. 24GS03586000

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**Metes and Bounds Description for
Wetland Buffer Compensation Area #3
Located in Block 653, Lots 36 & 37
Bridgewater Township, Somerset County, New Jersey**

Beginning at a point in the northerly property line of Proposed Lot 12, Block 653 as shown on the NJDEP Permit Plan for Block 653, Lots 36 and 37 referenced herein. Said being distant 10.85 feet on a bearing of North 60 degrees 38 minutes 39 seconds East from an axle found at the angle point in the northerly line of Lot 12 and runs, thence;

1. Along the northerly property line of Lot 12, North 60 degrees 38 minutes 39 seconds East a distance of 14.10 feet to a point, thence;
2. Through and across Lot 12 South 60 degrees 23 minutes 32 seconds East a distance of 9.73 feet to a point, thence;
3. Continuing through and across Lot 12, South 29 degrees 36 minutes 28 seconds West a distance of 61.30 feet to a point, thence;
4. Continuing through and across Lot 12, South 42 degrees 28 minutes 07 seconds West a distance of 34.61 feet to a point, thence;
5. Continuing through and across Lot 12, South 11 degrees 13 minutes 04 seconds West a distance of 3.98 feet to a point, thence;
6. Continuing through and across Lot 12, North 78 degrees 46 minutes 57 seconds West a distance of 17.00 feet to a point, thence;
7. Continuing through and across Lot 12, North 11 degrees 13 minutes 04 seconds East a distance of 8.74 feet to a point, thence;
8. Through and across Lot 17, North 42 degrees 28 minutes 07 seconds East a distance of 37.45 feet to the point and place of beginning.

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Wetland Buffer Compensation Area #3
Located in Block 653, Lots 36 & 37
Bridgewater Township
July 27, 2020
Page 2

9. Through and across Lot 12, North 29 degrees 36 minutes 28 seconds East a distance of 47.30 feet to a point, thence;

Containing 1,703 square feet of land more or less.

This description has been prepared in accordance with the plan entitled "NJDEP Permit Plan for Block 653, Lots 36 and 37 situated in Bridgewater Township, Somerset County, New Jersey" by Van Cleef Engineering Associates, LLC, and dated December 6, 2018, last revised November 26, 2019. The Permit Plan was approved by NJDEP on January 21, 2020 for Permit Number 1806.08.0004.1.



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**Metes and Bounds Description for
Wetland Buffer Compensation Area #4
Located in Block 653, Lots 36 & 37
Bridgewater Township, Somerset County, New Jersey**

Beginning at a point in the southeasterly property line of Proposed Lot 13, Block 653 as shown on the NJDEP Permit Plan for Block 653, Lots 36 and 37 referenced herein. Said point distant 160.69 feet on a bearing of South 42 degrees 00 minutes 24 seconds West from a concrete monument found at the southeasterly corner of Proposed Lot 13 and runs, thence;

1. Along the northwesterly property line of Lot 20, Block 653, South 42 degrees 00 minutes 24 seconds West a distance of 25.86 feet to a point, thence;
2. Through and across Lot 13, North 33 degrees 09 minutes 00 seconds West a distance of 33.15 feet to a point, thence;
3. Continuing through and across Lot 13, North 13 degrees 39 minutes 20 seconds West a distance of 30.24 feet to a point, thence;
4. Continuing through and across Lot 13, North 26 degrees 06 minutes 48 seconds West a distance of 56.30 feet to a point, thence;
5. Continuing through and across Lot 13, North 64 degrees 33 minutes 43 seconds West a distance of 9.40 feet to a point, thence;
6. Along the northwesterly property line of Lot 13, North 57 degrees 21 minutes 28 seconds East a distance of 17.19 feet to a point, thence;
7. Continuing through and across Lot 13, South 27 degrees 34 minutes 44 seconds East a distance of 17.36 feet to a point, thence;
8. Continuing through and across Lot 13, South 37 degrees 34 minutes 00 seconds East a distance of 33.14 feet to a point, thence;
9. Continuing through and across Lot 13, South 46 degrees 07 minutes 17 seconds East a distance of 19.70 feet to a point, thence;

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Wetland Buffer Compensation Area #4
Located in Block 653, Lots 36 & 37
Bridgewater Township
July 27, 2020
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10. Continuing through and across Lot 13 South 14 degrees 14 minutes 50 seconds East a distance of 29.54 feet to a point, thence;

11. Continuing through and across Lot 13, South 33 degrees 09 minutes 00 seconds East a distance of 21.31 feet to the point and place of beginning.

Containing 2,501 square feet of land more or less.

This description has been prepared in accordance with the plan entitled "NJDEP Permit Plan for Block 653, Lots 36 and 37 situated in Bridgewater Township, Somerset County, New Jersey" by Van Cleef Engineering Associates, LLC, and dated December 6, 2018, last revised November 26, 2019. The Permit Plan was approved by NJDEP on January 21, 2020 for Permit Number 1806.08.0004.1.



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