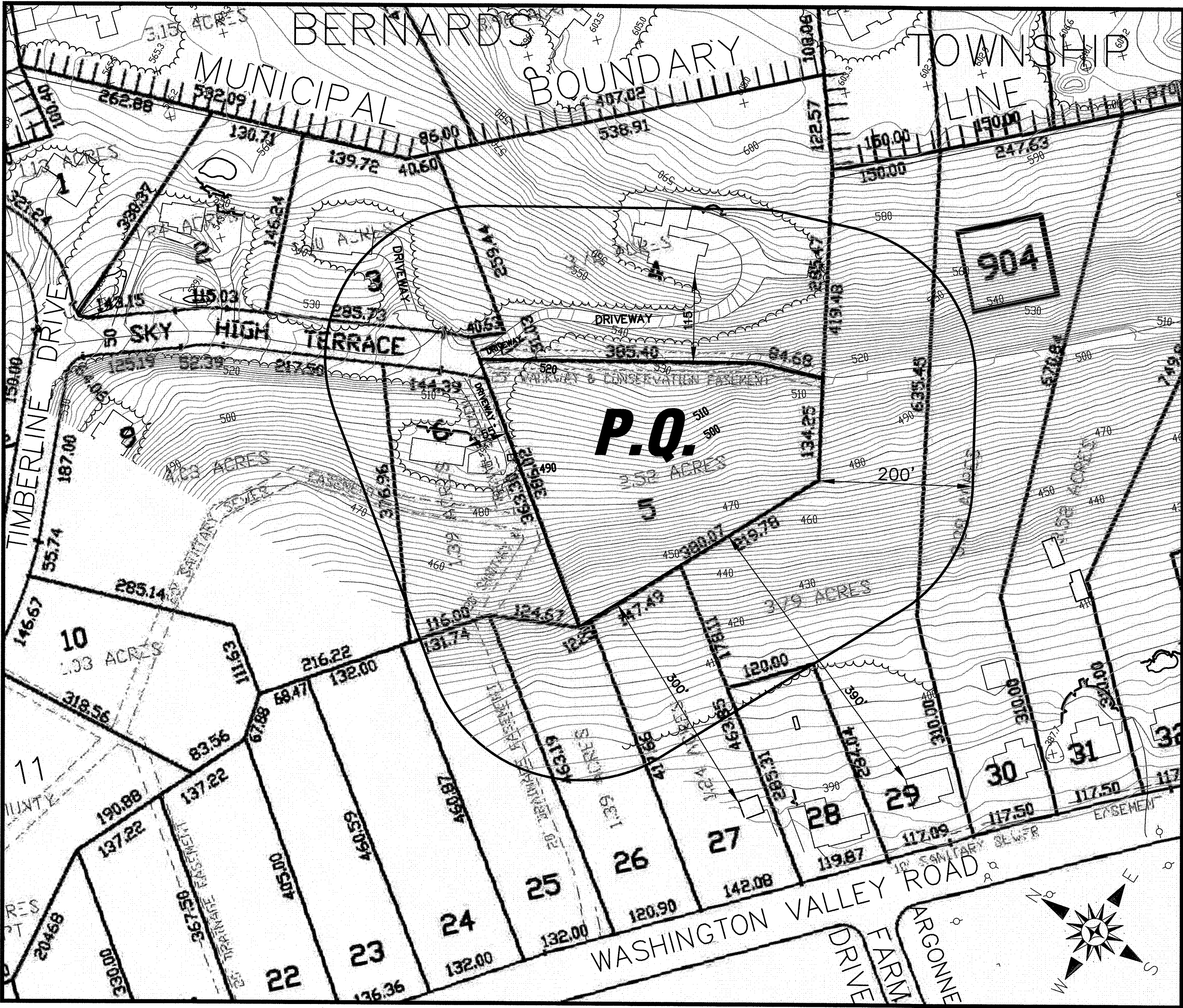


PROPERTY OWNERS WITHIN 200 FEET				
BLOCK	LOT	OWNERS NAME	PROPERTY ADDRESS	OWNERS ADDRESS
904	3	Dominick & Victoria LaRosa	4 Sky High Terrace	4 Sky High Terrace Bridgewater, NJ 08807-1201
	4	Fayez & Intesar Fanik	1301 Sky High Terrace	369 Village Rd. East Princeton Junction, NJ 08850
	6	Natalee Picotta Huber	1302 Sky High Terrace	1302 Sky High Terrace Bridgewater, NJ 08807-1202
	9	Marvin E. & Rabenberg Petit Homme	17 Timberline Dr.	17 Timberline Dr., Bridgewater, NJ 08807
	25	Samantha Tai & Michael Chan	1291 Washington Valley Rd.	1291 Washington Valley Rd. Bridgewater, NJ 08807-1490
	26	Bryan Blaze & M. Van Steenberg	1303 Washington Valley Rd.	1303 Washington Valley Rd. Bridgewater, NJ 08807
27	Mark Steven Jr. & Kellie Russo	1309 Washington Valley Rd.	1309 Washington Valley Rd. Bridgewater, NJ 08807	
28	Ann C. Calvano	1315 Washington Valley Rd.	1315 Washington Valley Rd. Bridgewater, NJ 08807-1417	
29	Alfonso & Jane Auriemma	1317 Washington Valley Rd.	1317 Washington Valley Rd. Bridgewater, NJ 08807-1417	
30	Edward & Waltraud Bolan	1319 Washington Valley Rd.	1319 Washington Valley Rd. Bridgewater, NJ 08807-1417	
9990	3		Township	Cablevision % Craig McLeod 275 Centennial Ave Piscataway, NJ 08854-3909
9990	4		Record Only	NJ-American Wtr Co 1025 Laurel Oak Rd Voorhees, NJ 08043-3506
9990	5		Record Only	Public service Electric & Gas Co 80 Park Plz # 169 Newark, NJ 07102-4109
9990	6		Record Only	Sunoco Pipeline LP/Right of Way Dept 525 Fritztown Rd Sinking Spring, PA 19608-1509



NOTES:

1. TRACT AREA = 109,752 S.F. / 2.5196 AC.
2. PROPERTY IS SHOWN ON TAX MAP SHEET 46.
3. ELEVATIONS ARE BASED ON NAVD 1988, FIELD RUN.
4. SANITARY SEWER, PUBLIC WATER, GAS & ELECTRIC ARE AVAILABLE IN SKY HIGH TERRACE. USE EXISTING CONNECTIONS WHERE POSSIBLE.
5. NO WETLANDS AND/OR BUFFERS ARE MAPPED ON THE NJDEP GIS NOR OBSERVED ON LOT 5, BLOCK 904. PROPERTY IS NOT IN A FLOOD HAZARD AREA.
6. LAWN AREAS TO BE A MINIMUM SLOPE OF 2%, WHERE POSSIBLE.
7. SOMERSET-UNION SOIL CONSERVATION DISTRICT APPROVAL TO BE OBTAINED UPON APPROVAL.
8. PROPOSED INCREASE IN IMPERVIOUS COVERAGE WILL BE LESS THAN 0.25 ACRE. PROPOSED GRADING WILL NOT ADVERSELY AFFECT ADJOINING PROPERTIES AND DISCHARGE OF ROOF LEADERS AND SUMP PUMP WILL BE COLLECTED AND/OR DIRECTED TO THE MUNICIPAL SYSTEM TO THE NORTHWEST OF LOT 5.
9. PROPERTY SURVEY, TOPOGRAPHY AND EXISTING CONDITIONS BY FISK ASSOCIATES IN FEBRUARY AND MARCH 2019.
10. THERE ARE NO STREAMS OR DRAINAGE DITCHES WITHIN 200' OF LOT 5, BLOCK 904.
11. IN ACCORDANCE WITH ARTICLE XXXIV, ALL OF LOT 5, BLOCK 904 HAS A SLOPE OF GREATER THAN 10% AND MAY BE SUBJECT TO HILLSIDE DEVELOPMENT REGULATIONS. NO DISTURBANCE IS PROPOSED ON SLOPES GREATER THAN 30%. SOIL EROSION AND SEDIMENT CONTROL MEASURES ARE SHOWN AS PART OF THIS APPLICATION.
12. ENVIRONMENTAL IMPACT STATEMENT IS REQUIRED PER SEC. 126-269.
13. A PERFORMANCE BOND IS REQUIRED FOR ALL IMPROVEMENTS WITHIN THE RIGHT-OF-WAY. A ROAD OPENING PERMIT MAY BE REQUIRED FOR THE UTILITY CONNECTIONS.
14. AN INSPECTION ESCROW IS REQUIRED FOR INSPECTION OF ALL IMPROVEMENTS WITHIN THE RIGHT-OF-WAY.
15. THE SEWER UTILITY ENGINEER SHALL BE NOTIFIED AT LEAST 72 HOURS PRIOR TO THE PLANNED INSTALLATION OF THE SIGHT-TEE FOR SCHEDULING INSPECTIONS.
16. PRIOR TO CONSTRUCTION, A GRADING PLAN SHALL BE SUBMITTED TO THE ENGINEERING DIVISION FOR REVIEW OF SEWER AND TO ASSURE AGAINST ADVERSE DRAINAGE EFFECTS TO ADJACENT LANDS.
17. THE APPLICANT SHALL CONTACT THE NJ ONE CALL SYSTEM, "CALL BEFORE YOU DIG", 1-800-272-1000, AT LEAST THREE (3) BUSINESS DAYS PRIOR TO CONSTRUCTION.
18. APPLICANT TO CONSTRUCT THE DWELLING IN SUBSTANTIAL CONFORMANCE WITH THE ARCHITECTURAL PLANS SUBMITTED.
19. APPLICANT TO COMPLY WITH THE CONSTRUCTION MITIGATION MEASURES SET FORTH IN SECTION 126-243.1 OF THE LAND USE ORDINANCE.

KEY MAP

1" = 100' +/-
TAX MAP SHEET 46
ALL SHOWN IN R-50 ZONE
EXISTING STRUCTURES & TOPOGRAPHY
FROM TOWNSHIP AERIAL ON THIS KEY MAP

ZONE R-50 RESIDENTIAL

ITEM	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	50,000 S.F.	109,752 S.F.	109,752 S.F.
MINIMUM LOT WIDTH	165 FT.	104.1 FT. **	104.1 FT. **
MINIMUM SETBACKS			
FRONT YARD	75 FT.	75 FT.	80.8 FT.
SIDE YARD MINIMUM	25 FT.	25 FT.	29.0 FT.
SIDE YARD COMBINED	70 FT.	70 FT.	87.5 FT.
REAR YARD	85 FT.	85 FT.	237.2 FT.
MAXIMUM PERCENT OF IMPROVED LOT COVERAGE	18%/1,973 S.F.*	0.8%/88 S.F.	49.27%/5,400 S.F. REQUESTED** (4,970 S.F. SHOWN)
MAXIMUM HEIGHT	2.5 STY/35 FT.	N/A	2.5 STY/33.4 FT.
MAXIMUM F.A.R.	0.16/1,754 S.F.*	0	0.2731/2,993 S.F. **
PARKING	3 SPACES	0	6 SPACES

* ADJUSTED PER ARTICLE XXXIV: HILLSIDE DEVELOPMENT
** INDICATES VARIANCE REQUIRED

EXISTING ROAD FRONTAGE ON SKY HIGH TERRACE = 23.72 FT.

THE LOWER LEVEL OF THE PROPOSED DWELLING WILL BE A CELLAR.
MORE THAN HALF OF THE WALL AREA FROM FLOOR TO CEILING WILL BE BELOW GRADE.

OWNER: DANA LAGOUTTE and CYNTHIA KARMELL
as Co-Trustees of the CINDY TRUST
created by the Last Will and Testament of Robert Karnell
with addresses at:
101 LINCOLN PARK EAST 298 FRANCIS LANE
CRANFORD, NJ 07016 BREINIGSVILLE, PA 18031

APPLICANT: SKYMANOR PROPERTIES, LLC
1 COBBLE LANE
BASKING RIDGE, NJ 07920
908-229-5014

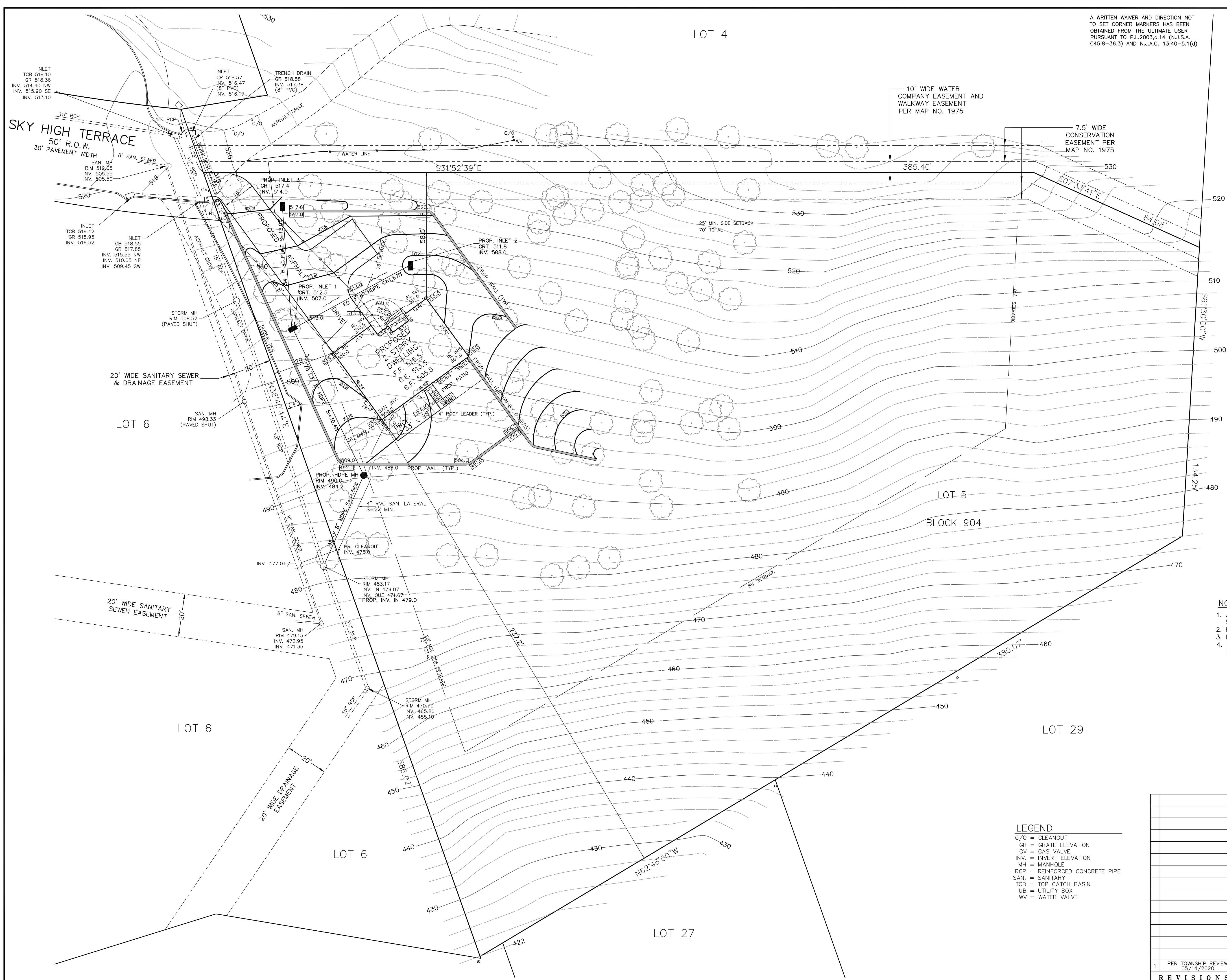
ZONING BOARD APPROVAL	DATE
APPLICATION No.	
CHAIRMAN -- DONALD SWEENEY	DATE
SECRETARY -- JAMES WEIDELI	DATE
BOARD ENGINEER -- WILLIAM H. BURR, IV, P.E.	DATE

FISK ASSOCIATES, P.A.
ENGINEERS - SURVEYORS - PLANNERS
631 UNION AVENUE
MIDDLESEX, NEW JERSEY 08846
Phone: 732-356-9322 Fax: 732-356-6015
FISKASSOCIATES@AOL.COM
05/14/2020
STEPHEN M. FISK, L.S., LIC.# 23919
ROBERT GAZZALE, P.E., L.S., LIC# 35363
L.S. - NEW JERSEY PROFESSIONAL LAND SURVEYOR
P.E. - NEW JERSEY PROFESSIONAL ENGINEER

PROPOSED VARIANCE PLAN

5 SKY HIGH TERRACE
LOT 5 BLOCK 904
TOWNSHIP OF BRIDGEWATER
SOMERSET COUNTY ~ NEW JERSEY

1	PER TOWNSHIP REVIEW 05/14/2020	SCALE: AS NOTED	FIELD BOOK/PAGE: 635/22	JOB#:	BR-5883	SHEET: 1
REVISIONS		DATE: JANUARY 2, 2020	DRAWN BY: EASH			



A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003,c.14 (N.J.S.A. C45:8-36.3) AND N.J.A.C. 13:40-5.1(d)

REFERENCE MAPS:
"TIMBERLINE SECTION 3A"
FILED AUGUST 26, 1982
AS MAP NO. 1975

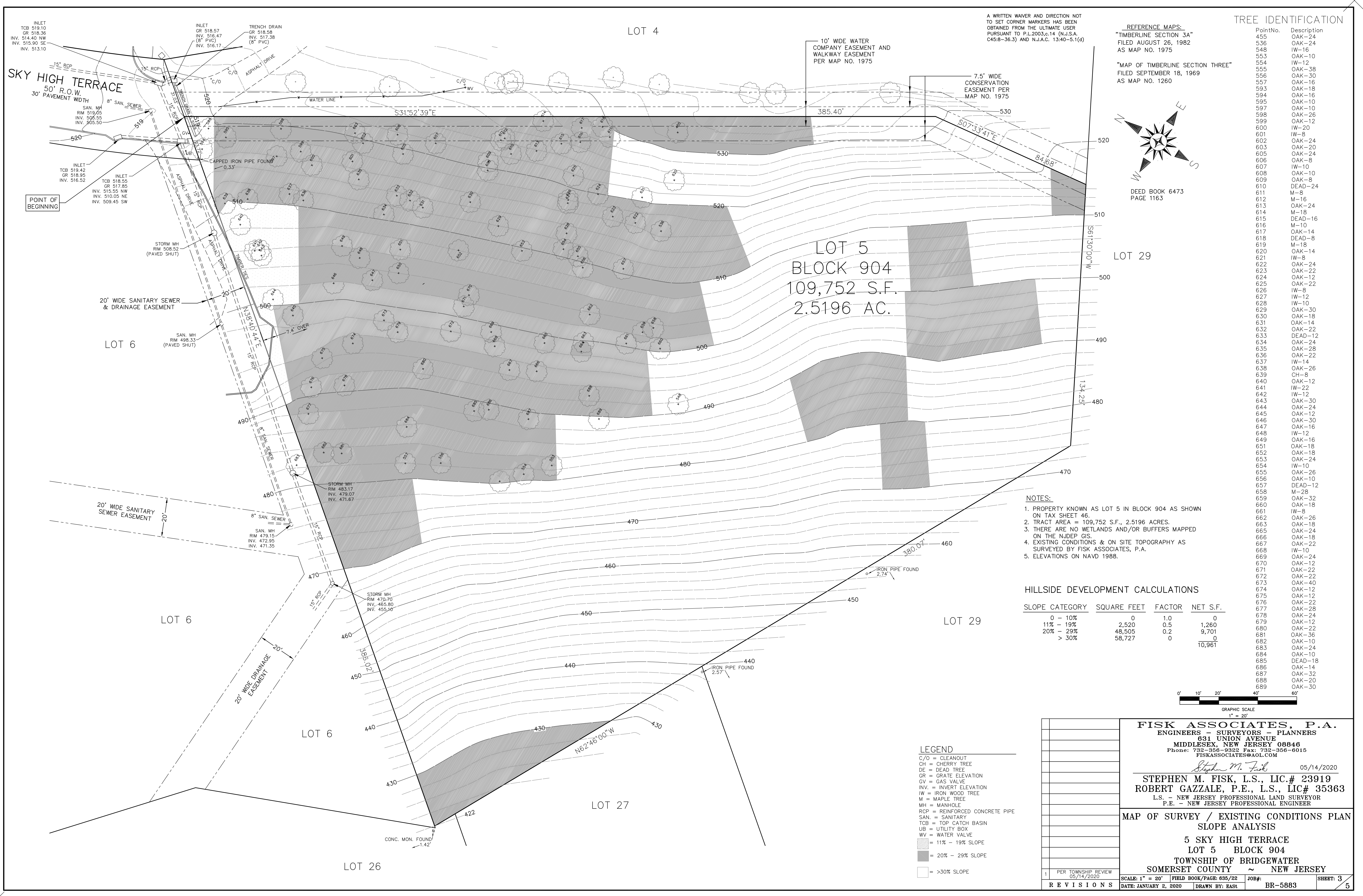
"MAP OF TIMBERLINE SECTION THREE"
FILED SEPTEMBER 18, 1969
AS MAP NO. 1260



- NOTES:
1. ALL CONSTRUCTION TO CONFORM TO THE BRIDGEWATER TOWNSHIP STANDARD DETAILS AND SPECIFICATIONS.
 2. RETAINING WALL DESIGN TO BE SUBMITTED AT TIME OF BUILDING PERMIT.
 3. ELEVATIONS ON NAVD 1988.
 4. EXISTING CONDITIONS & TOPOGRAPHY AS SURVEYED BY FISK ASSOCIATES, P.A. FEBRUARY & MARCH, 2019.

- LEGEND
- C/O = CLEANOUT
 - GR = GRATE ELEVATION
 - GV = GAS VALVE
 - INV. = INVERT ELEVATION
 - MH = MANHOLE
 - RCP = REINFORCED CONCRETE PIPE
 - SAN. = SANITARY
 - TCB = TOP CATCH BASIN
 - UB = UTILITY BOX
 - WV = WATER VALVE

FISK ASSOCIATES, P.A. ENGINEERS - SURVEYORS - PLANNERS 631 UNION AVENUE MIDDLESEX, NEW JERSEY 08846 Phone: 732-356-9322 Fax: 732-356-6015 FISKASSOCIATES@AOL.COM			
<i>Robert Fisk</i> 05/14/2020			
STEPHEN M. FISK, L.S., LIC.# 23919 ROBERT GAZZALE, P.E., L.S., LIC# 35363 L.S. - NEW JERSEY PROFESSIONAL LAND SURVEYOR P.E. - NEW JERSEY PROFESSIONAL ENGINEER			
PROPOSED PLOT PLAN STORMWATER CONTROL PLAN 5 SKY HIGH TERRACE LOT 5 BLOCK 904 TOWNSHIP OF BRIDGEWATER SOMERSET COUNTY ~ NEW JERSEY			
1	PER TOWNSHIP REVIEW 05/14/2020	SCALE: 1" = 20'	FIELD BOOK/PAGE: 635/22
R E V I S I O N S		DATE: JANUARY 2, 2020	DRAWN BY: EAST
		JOB#:	BR-5883
		SHEET: 2	5



A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003,c.14 (N.J.S.A. C45:8-36.3) AND N.J.A.C. 13:40-5.1(d)

REFERENCE MAPS:
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FILED AUGUST 26, 1982
AS MAP NO. 1975

"MAP OF TIMBERLINE SECTION THREE"
FILED SEPTEMBER 18, 1969
AS MAP NO. 1260



TREE IDENTIFICATION

PointNo.	Description
455	OAK-24
536	OAK-24
548	IW-16
553	OAK-10
554	IW-12
555	OAK-38
556	OAK-30
557	OAK-16
593	OAK-18
594	OAK-16
595	OAK-10
597	OAK-10
598	OAK-26
599	OAK-12
600	IW-20
601	IW-8
602	OAK-24
603	OAK-20
605	OAK-24
606	OAK-8
607	IW-10
608	OAK-10
609	OAK-8
610	DEAD-24
611	M-8
612	M-18
613	OAK-24
614	M-18
615	DEAD-16
616	M-10
617	OAK-14
618	DEAD-8
619	M-18
620	OAK-14
621	IW-8
622	OAK-24
623	OAK-22
624	OAK-12
625	OAK-22
626	IW-8
627	IW-12
628	IW-10
629	OAK-30
630	OAK-18
631	OAK-14
632	OAK-22
633	DEAD-12
634	OAK-24
635	OAK-28
636	OAK-22
637	IW-14
638	OAK-26
639	CH-8
640	OAK-12
641	IW-22
642	IW-12
643	OAK-30
644	OAK-24
645	OAK-12
646	OAK-30
647	OAK-16
648	IW-12
649	OAK-16
651	OAK-18
652	OAK-18
653	OAK-24
654	IW-10
655	OAK-26
656	OAK-10
657	DEAD-12
658	M-28
659	OAK-32
660	OAK-18
661	IW-8
662	OAK-26
663	OAK-18
665	OAK-24
666	OAK-18
667	OAK-22
668	IW-10
669	OAK-24
670	OAK-12
671	OAK-22
672	OAK-22
673	OAK-40
674	OAK-12
675	OAK-12
676	OAK-22
677	OAK-28
678	OAK-24
679	OAK-12
680	OAK-22
681	OAK-36
682	OAK-10
683	OAK-24
684	OAK-10
685	DEAD-18
686	OAK-14
687	OAK-32
688	OAK-20
689	OAK-30

NOTES:

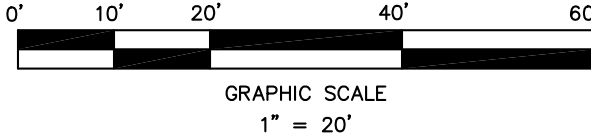
1. PROPERTY KNOWN AS LOT 5 IN BLOCK 904 AS SHOWN ON TAX SHEET 46.
2. TRACT AREA = 109,752 S.F., 2.5196 ACRES.
3. THERE ARE NO WETLANDS AND/OR BUFFERS MAPPED ON THE NJDEP GIS.
4. EXISTING CONDITIONS & ON SITE TOPOGRAPHY AS SURVEYED BY FISK ASSOCIATES, P.A.
5. ELEVATIONS ON NAVD 1988.

HILLSIDE DEVELOPMENT CALCULATIONS

SLOPE CATEGORY	SQUARE FEET	FACTOR	NET S.F.
0 - 10%	0	1.0	0
11% - 19%	2,520	0.5	1,260
20% - 29%	48,505	0.2	9,701
> 30%	58,727	0	0
			10,961

LEGEND

- C/O = CLEANOUT
CH = CHERRY TREE
DE = DEAD TREE
GR = GRATE ELEVATION
GV = GAS VALVE
INV. = INVERT ELEVATION
IW = IRON WOOD TREE
M = MAPLE TREE
MH = MANHOLE
RCP = REINFORCED CONCRETE PIPE
SAN = SANITARY
TCB = TOP CATCH BASIN
UB = UTILITY BOX
WV = WATER VALVE
= 11% - 19% SLOPE
= 20% - 29% SLOPE
= >30% SLOPE



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Stephen M. Fisk

05/14/2020

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ROBERT GAZZALE, P.E., L.S., LIC# 35363
L.S. - NEW JERSEY PROFESSIONAL LAND SURVEYOR
P.E. - NEW JERSEY PROFESSIONAL ENGINEER

MAP OF SURVEY / EXISTING CONDITIONS PLAN
SLOPE ANALYSIS

5 SKY HIGH TERRACE

LOT 5 BLOCK 904

TOWNSHIP OF BRIDGEWATER

SOMERSET COUNTY ~ NEW JERSEY

1 PER TOWNSHIP REVIEW
05/14/2020
R E V I S I O N S

SCALE: 1" = 20' FIELD BOOK/PAGE: 635/22
DATE: JANUARY 2, 2020 DRAWN BY: EAST

JOB#: BR-5883

SHEET: 3
5

TREE IDENTIFICATION


pointNo.	Description
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536	OAK-24
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553	OAK-10
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556	OAK-30
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597	OAK-10
598	OAK-26
599	OAK-12
600	IW-20
601	IW-8
602	OAK-24
603	OAK-20
605	OAK-24
606	OAK-8
607	IW-10
608	OAK-10
609	OAK-8
610	DEAD-24
611	M-8
612	M-16
613	OAK-24
614	M-18
615	DEAD-16
616	M-10
617	OAK-14
618	DEAD-8
619	M-8
620	OAK-14
621	IW-8
622	OAK-8
623	OAK-22
624	OAK-12
625	OAK-22
626	IW-8
627	IW-10
628	IW-12
629	OAK-30
630	OAK-18
631	OAK-14
632	OAK-22
633	DEAD-12
634	OAK-24
635	OAK-28
636	OAK-22
637	IW-14
638	OAK-26
639	CH-8
640	OAK-12
641	IW-22
642	IW-12
643	OAK-30
644	OAK-24
645	OAK-12
646	OAK-30
647	OAK-16
648	IW-12
649	OAK-16
651	OAK-18
652	OAK-18
653	OAK-24
654	IW-10
655	OAK-26
656	OAK-10
657	DEAD-12
658	M-28
659	OAK-32
660	OAK-18
661	IW-8
662	OAK-26
663	OAK-18
665	OAK-24
666	OAK-18
667	OAK-22
668	IW-10
669	OAK-24
670	OAK-12
671	OAK-22
672	OAK-22
673	OAK-40
674	OAK-12
675	OAK-12
676	OAK-22
677	OAK-28
678	OAK-24
679	OAK-12
680	OAK-22
681	OAK-36
682	OAK-10
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684	OAK-10
685	DEAD-18
686	OAK-14
687	OAK-32
688	OAK-20
689	OAK-30



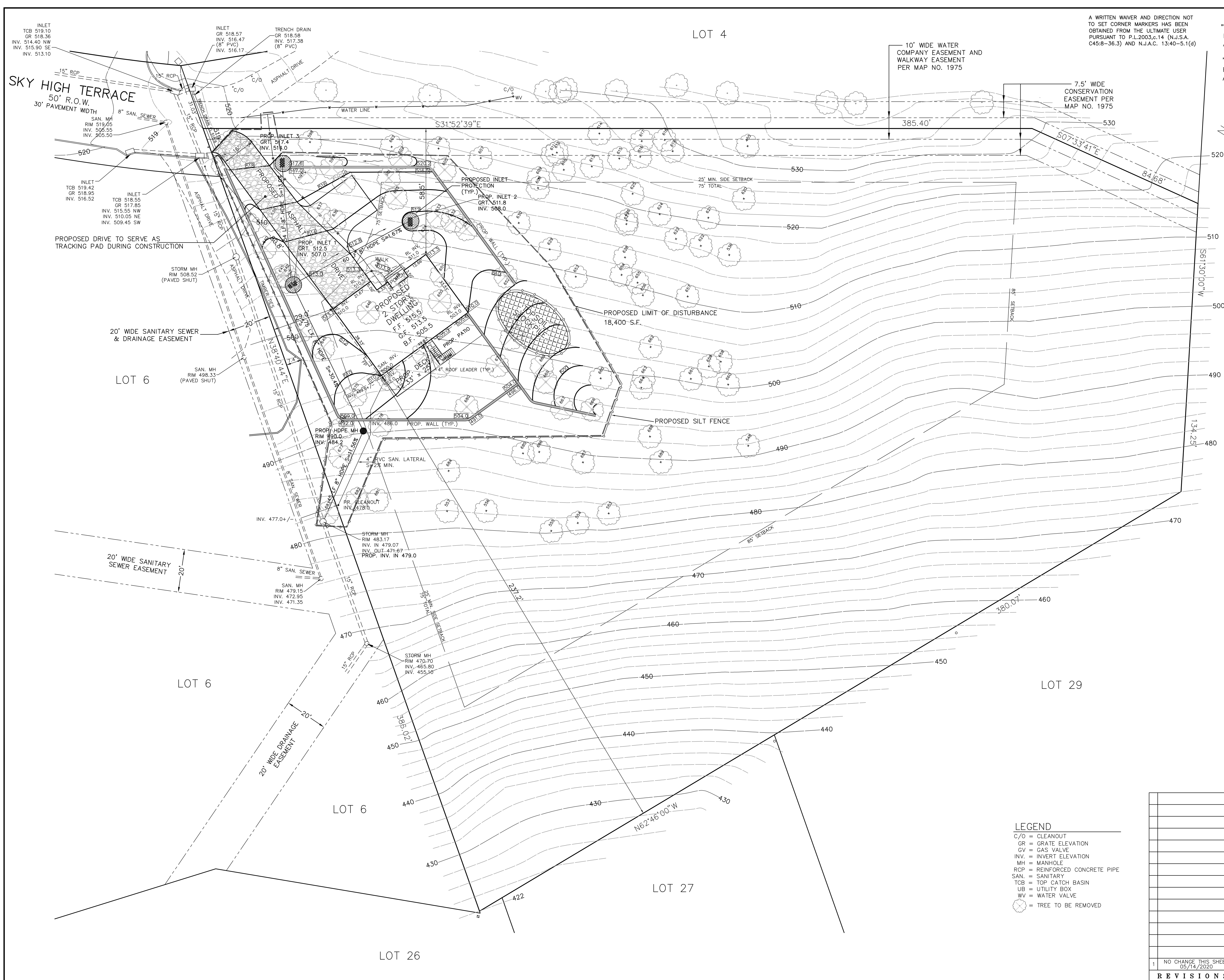
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SCALE: 1" = 20'	FIELD BOOK/PAGE: 635/22	JOB#:	SHEET: 4
DATE: JANUARY 2, 2020	DRAWN BY: EAST	BR-5883	

LEGEND

C/O	=	CLEANOUT
GR	=	GRATE ELEVATION
GV	=	GAS VALVE
INV.	=	INVERT ELEVATION
MH	=	MANHOLE
RCP	=	REINFORCED CONCRETE PIPE
SAN.	=	SANITARY
TCB	=	TOP CATCH BASIN
UB	=	UTILITY BOX
WV	=	WATER VALVE
	=	TREE TO BE REMOVED

1	NO CHANGE THIS SHEET 05/14/2020	SOMERSET COUNTY		~	NEW JERSEY	
		SCALE: 1" = 20'	FIELD BOOK/PAGE: 635/22	JOB#:	SHEET: 4	
R E V I S I O N S		DATE: JANUARY 2, 2020	DRAWN BY: EAST	BR-5883		



SOIL EROSION AND SEDIMENT CONTROL NOTES

1. All soil erosion and sediment control practices are to be installed prior to any major soil disturbance, or in their proper sequence, and maintained until permanent protection is established.
2. Any disturbed areas that will be left exposed more than thirty (30) days and not subject to construction traffic will immediately receive a temporary seeding. If the season prevents the establishment of temporary cover, the disturbed areas will be mulched with straw or equivalent material, at a rate of two (2) tons per acre, according to State Standards.
3. Permanent vegetation to be seeded or sodded on all exposed areas within ten (10) days after final grading. Mulching is required on all seeding. When hydroseeding, mulch shall not be included in the tank with the seed.
4. All work to be done in accordance with the Standards for Soil Erosion and Sediment Control of New Jersey.
5. A sub-base course will be applied immediately following rough grading and installation of improvements to stabilize streets, roads,driveways and parking areas. In areas where no utilities are present, the subbase shall be installed within 15 days of the preliminary grading.
6. Immediately following initial disturbance or rough grading, all critical areas subject to erosion (i.e. steep slopes and roadway embankments) will receive a temporary seeding in combination with straw mulch or a suitable equivalent at a rate of 2 tons per acre, according to State Standards.
7. Any steep slopes receiving pipeline installation will be backfilled and stabilized daily, as the installation continues (i.e. slopes greater than 3:1).
8. The Standard for Stabilized Construction Access requires the installation of a stone pad of 1 1/2" to 2" stone, at all construction driveways, immediately after initial site disturbance.
9. In accordance with the Standard for Management of High Acid Producing Soils, any soil having a pH of 4 or less or containing iron sulfides shall be covered with a minimum of twelve (12) inches of soil having a pH of 5 or more prior to seedbed preparation. Areas where trees or shrubs are to be planted shall be covered with a minimum of twenty four (24) inches of soil having a pH of 5 or more.
10. The Somerset-Union Soil Conservation District shall be notified, in writing seventy-two (72) hours in advance of any land disturbing activity.
11. At the time the site preparation for permanent vegetative stabilization is going to be accomplished, any soil that will not provide a suitable environment to support adequate vegetative ground cover, shall be removed or treated in such a way that it will permanently adjust the soil conditions and render it suitable for vegetative ground cover. If the removal or treatment of the soil will not provide suitable conditions, non-vegetive means of permanent ground stabilization will have to be employed.
12. In that N.J.S.A. 4:24-39 et. Seq. requires that no Certificates of Occupancy be issurd before the provisions of the Certified Plan for Erosion Control have been complied with for permanent measures, all site work for site plans and all work around individual lots in subdivisions, will have to be completed prior to the District issuing a Report of Compliance for the issuance of a Certificate of Occupancy by the Municipality.
13. Conduit Outlet Protection must be installed at all required outfalls prior to the drainage system becoming operational.
14. Any changes to the certified Soil Erosion and Sediment Control Plans will require the submission of revised Soil Erosion and Sediment Control Plans to the District for recertification. The revised plans must meet all current State Soil Erosion and Sediment Control Standards.
15. Unfiltered dewatering is not permitted. Take all necessary precautions during all dewatering operations to minimize sediment transfer. Any dewatering methods used must be in accordance with State Standards.
16. Should the course of dust at the site be necessary, the site will be sprinkled until the surface is wet, temporary vegetative cover shall be established or mulch shall be applied in accordance with the State Standards for Erosion Control.
17. All soil washed, dropped, spilled, tracked outside the limit of disturbance or onto public rights-of-way will be removed immediately.
18. The property owner shall be responsible for any erosion or sedimentation that may occur below stormwater outfalls or offsite as a result of the construction of the project.
19. Stockpile and staging locations determined in the field, shall be placed within the limit of disturbance according to the certified plan. Staging and stockpiles not located within the limit of disturbance will require certification of a revised Soil Erosion and sediment Control Plan. The District reserves the right to determine when certification of a new and separate Soil Erosion and Sediment Plan will be required for these activities.
20. All soil stockpiles are to be temporarily stabilized in accordance with Soil Erosion and Sediment Control note # 2.

STANDARD FOR DUST CONTROL

Definition

The control of dust on construction sites and roads.

Purpose

To prevent blowing and movement of dust from exposed soil surfaces, reduced on-site and off-site damage and health hazards, and improve traffic safety.

Condition Where Practice Applies

This practice is applicable to areas subject to dust blowing and movement where on-site and off-site damage is likely without treatment. Consult with local municipal ordinances on any restrictions.

Water Quality Enhancement

Sediments deposited as "dust" are often fine colloidal material which is extremely difficult to remove from water once it becomes suspended. Use of this standard will help to control the generation of dust from construction sites and subsequent blowing and deposition into local surface water resources.

Planning Criteria

The following methods should be considered for controlling dust:

Mulches - See Standard of Stabilization with Mulches Only, pg. 5-1

Vegetative Cover - See Standard for: Temporary Vegetative Cover, pg. 7-1, Permanent Vegetative Cover for Soil Stabilization pg. 4-1, and Permanent Stabilization with Sod, pg. 6-1

Spray-On Adhesives - On mineral soils (not effective on muck soils). Keep traffic off these areas.

Table 16-1: Dust Control Materials			
MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
Anionic Asphalt Emulsion	7:1	Coarse Spray	1200
Latex emulsion	12.5:1	Fine Spray	235
Resin in water	4:1	Fine Spray	300
Polyacrylamide(PAM)-spray on	Apply according to manufacturer's instruction. May also be used as an additive to sediment basins to flocculate and precipitate suspended colloids.		
Polyacrylamide(PAM)-dry spread			
Acidulated Soy Bean Soap Stick	None		

Tillage - To roughen the surface and bring clods to the surface. This is a temporary emergency measure, which should be used before soil blowing starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12 inches apart, and spring-toothed harrows are examples of equipment, which may produce the desired effect.

Sprinkling - Site is sprinkled until the surface is wet.

Barriers - Solid board fences, snow fences, burlap fences, crate walls, bales of hay, and similar material can be used to control air currents and soil blowing.

Calcium Chloride - Shall be in the form of loose, dry granules or flakes fine enough to feed through commonly used spreaders at a rate that will keep surface moist but not cause pollution or plant damage. If used on steeper slopes, then use other practices to prevent washing into streams, or accumulation around plants.

Stone - Cover surface with crushed stone or coarse gravel.

PERMANENT STABILIZATION & SEEDING SCHEDULE

Topsoil should be handled only when it is dry enough to work without damaging the soil structure.

A uniform application to a depth of 5 inches (unsettled) is required on all sites. Topsoil shall be amended with organic matter, as needed, in accordance with the Standard for Topsoiling.

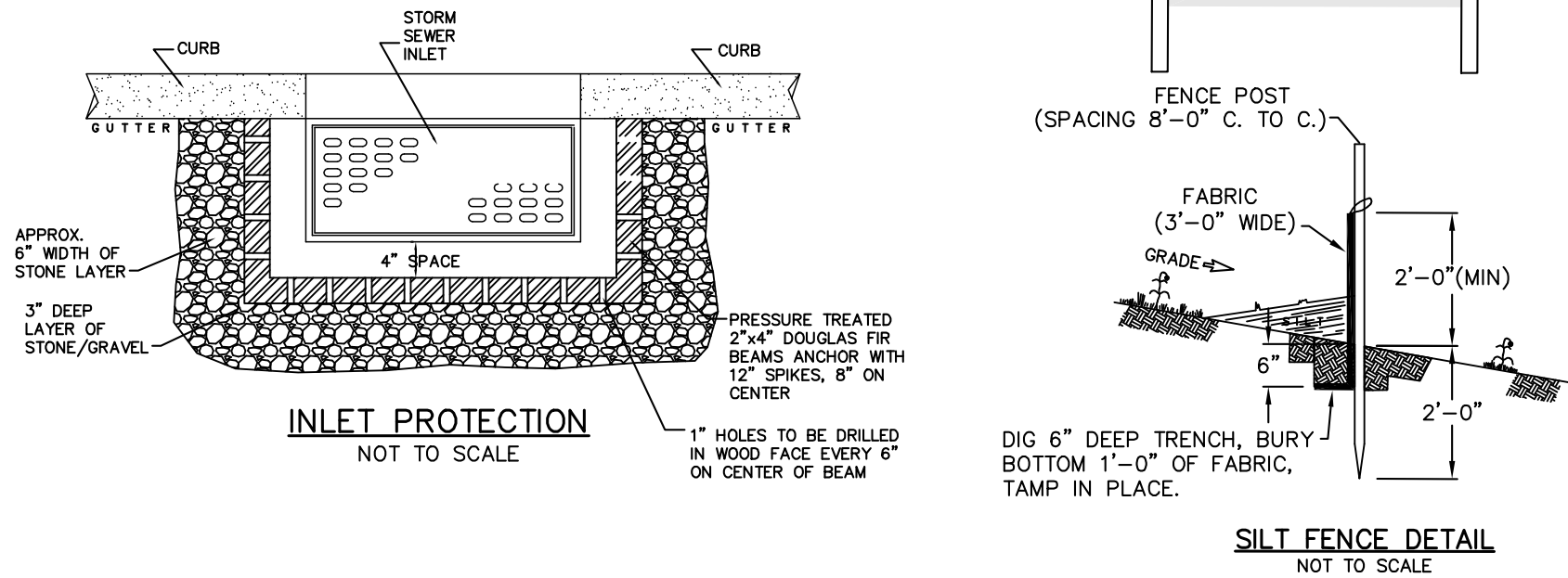
Temporary seeding shall consist of Spring Oats applied at a rate of 2.0 lbs. per 1,000 s.f. or grain rye applied at a rate of 2.4 lbs. per s.f. Temporary seeding to be maintained until disturbed areas are permanently stabilized.

Permanent seeding shall consist of the following mixture or approved equal. Optimum seedling dates are April 15 - November 1

Kentucky 31 Tall Fescue	1.5lb. / 1000 s.f.
Chewing Red Fescue	0.7lb. / 1000 s.f.
Creeping Red Fescue	0.7lb. / 1000 s.f.
Perennial Rye Grass	0.7lb. / 1000 s.f.

Mulch with unrattled, salt hay or small grain straw immediately after seeding, applying at a rate of 90 lbs./1000 s.f. Apply ground limestone at a rate of 90 lbs./1000 s.f. Anchor mulch with liquified mulch binder. Apply at rates specified by manufacturer.

Fertilizer for the establishment of temporary and permanent vegetative cover shall be 10-20-20 applied at a rate of 14 lbs. per 1000 s.f. or as determined by soil test.



Soil De-compaction and Testing Requirements

Soil Compaction Testing Requirements

1. Subgrade soils prior to the application of topsoil (see permanent seeding and stabilization notes for topsoil requirements) shall be free of excessive compaction to a depth of 6.0 inches to enhance the establishment of permanent vegetative cover.
 2. Areas of the site which are subject to compaction testing and/or mitigation are graphically denoted on the certified soil erosion control plan.
 3. Compaction testing locations are denoted on the plan. A copy of the plan or portion of the plan shall be used to mark locations of tests, and attached to the compaction remediation form, available from the local soil conservation district. This form must be filled out and submitted prior to receiving a certificate of compliance from the district.
 4. In the event that testing indicates compaction in excess of the maximum thresholds indicated for the simplified testing methods (see details below), the contractor/owner shall have the option to perform either (1) compaction mitigation over the entire mitigation area denoted on the plan (excluding exempt areas), or (2) perform additional, more detailed testing to establish the limits of excessive compaction whereupon only the excessively compacted areas would require compaction mitigation. Additional detailed testing shall be performed by a trained, licensed professional.
- Compaction Testing Methods
- A. Probing Wire Test (see detail)
 - B. Hand-held Penetrometer Test (see detail)
 - C. Tube Bulk Density Test (licensed professional engineer required)
 - D. Nuclear Density Test (licensee professional engineer required)

Note: Additional testing methods which conform to ASTM standards and specifications, and which produce a dry weight, soil bulk density measurement may be allowed subject to District approval.

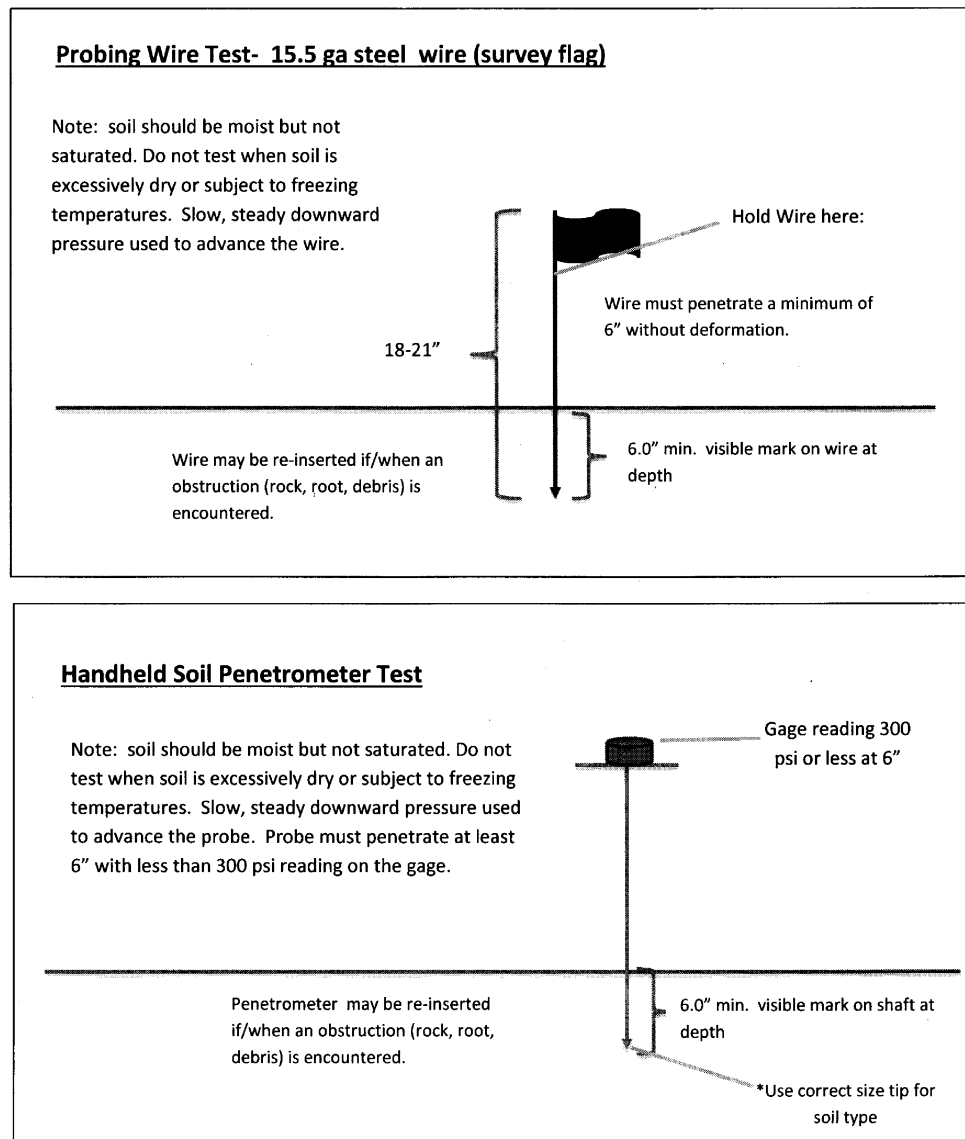
Soil compaction testing is not required if/when subsoil compaction remediation (scarification/tillage (6" minimum depth) or similar) is proposed as part of the sequence of construction.

Procedures for Soil Compaction Mitigation

Procedures shall be used to mitigate excessive soil compaction prior to placement of topsoil and establishment of permanent vegetative cover.

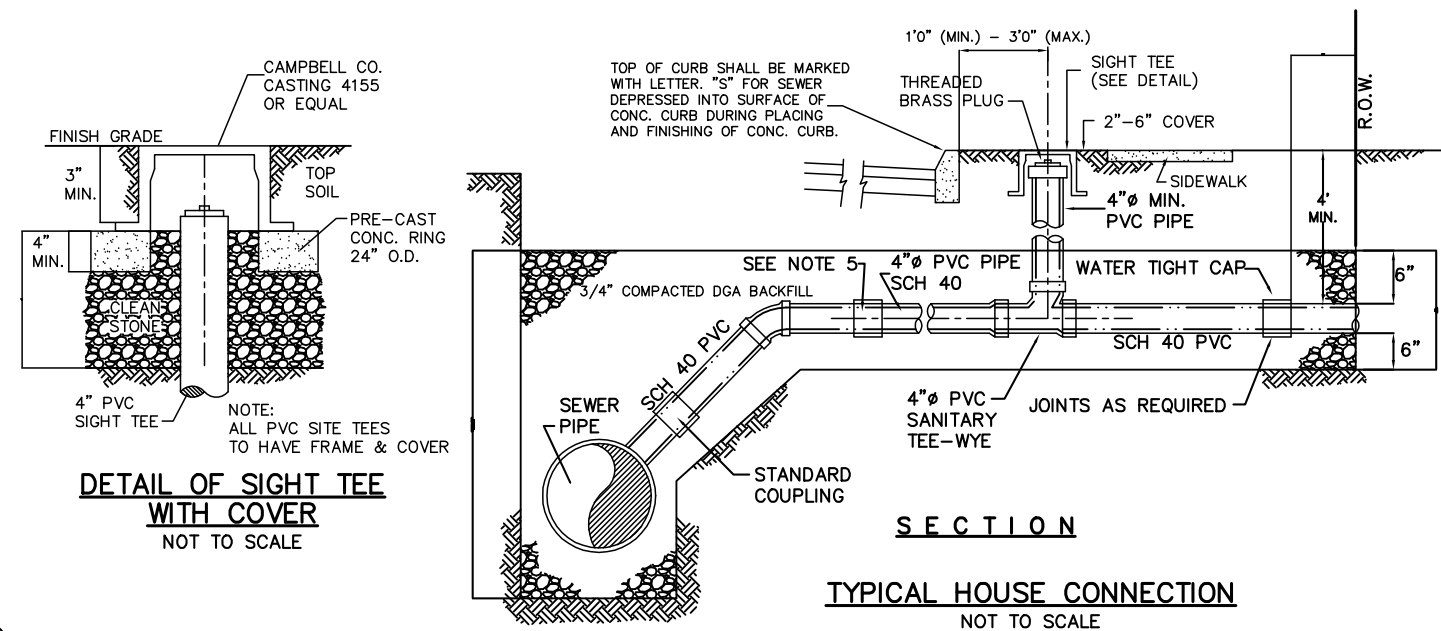
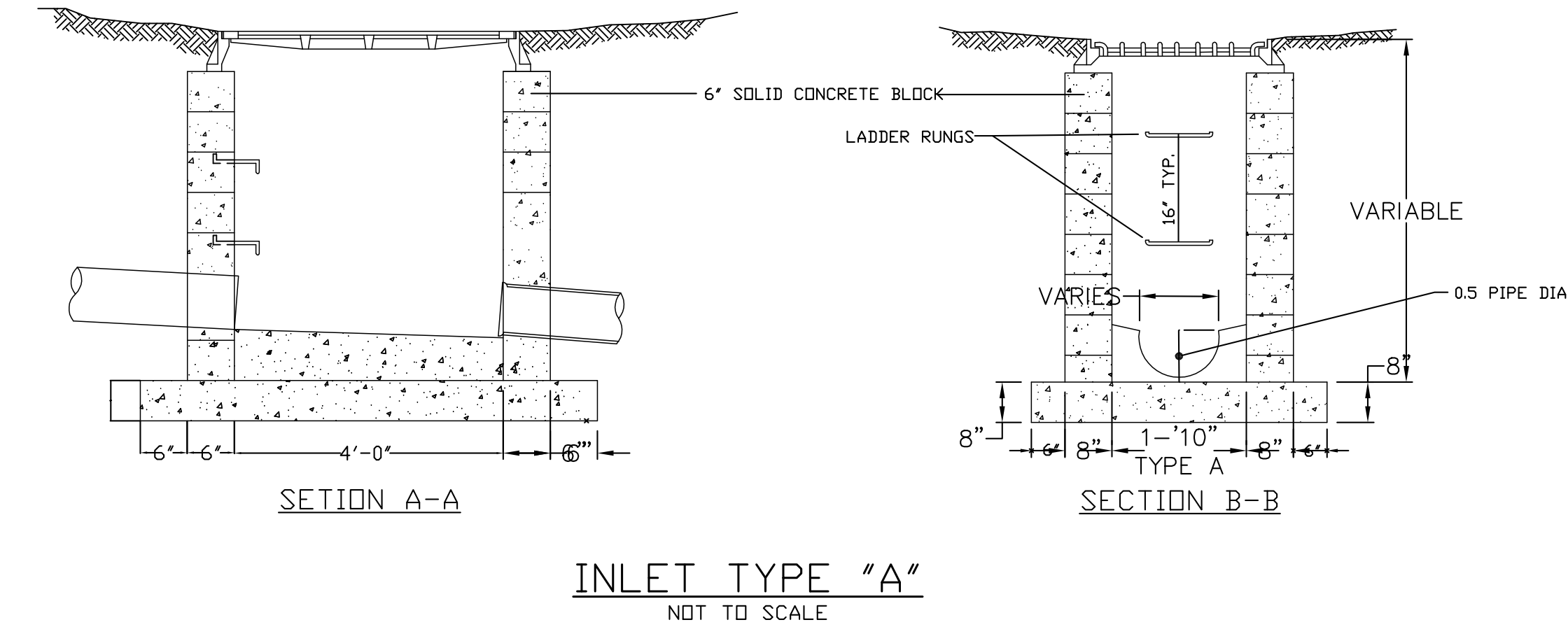
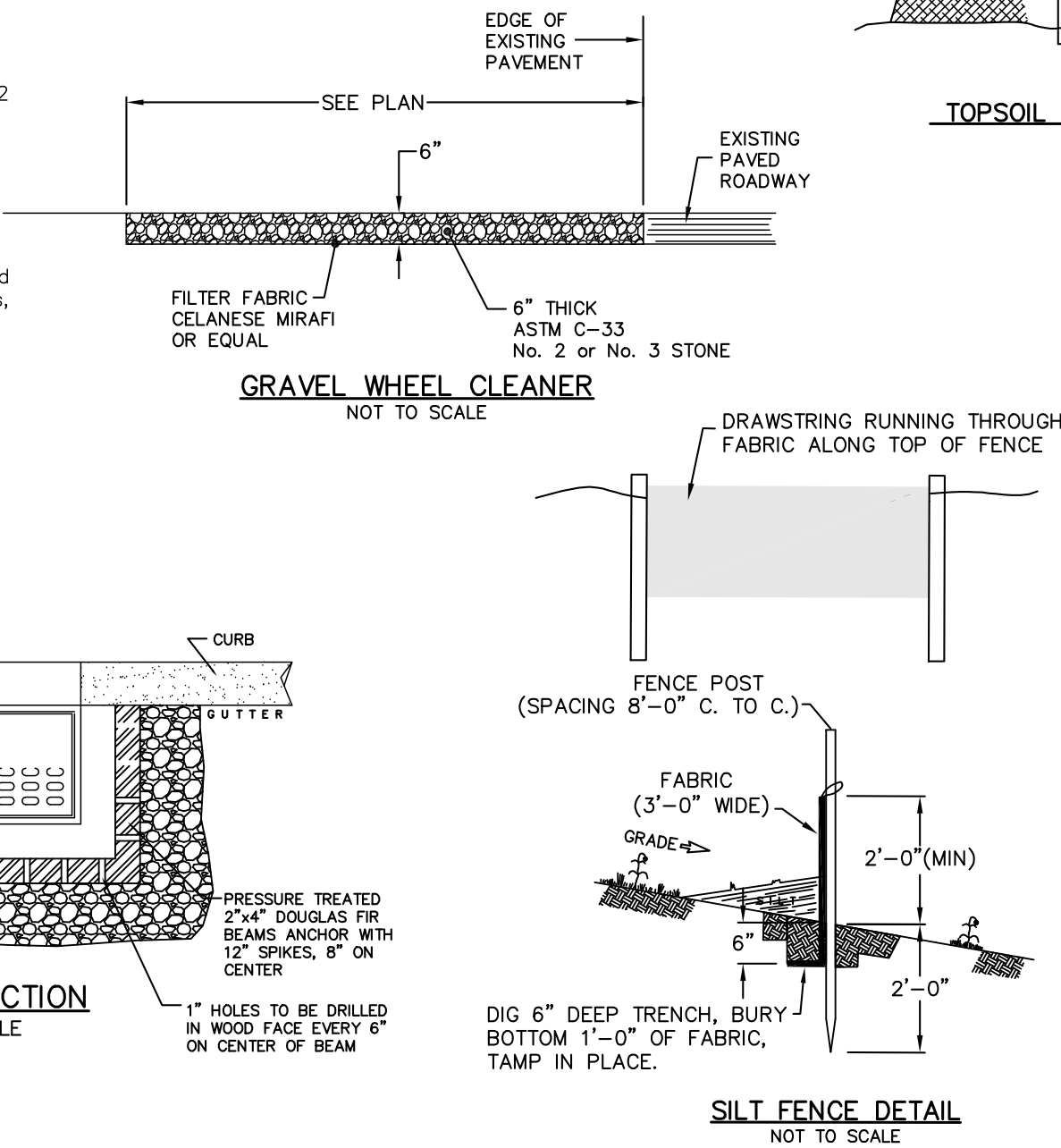
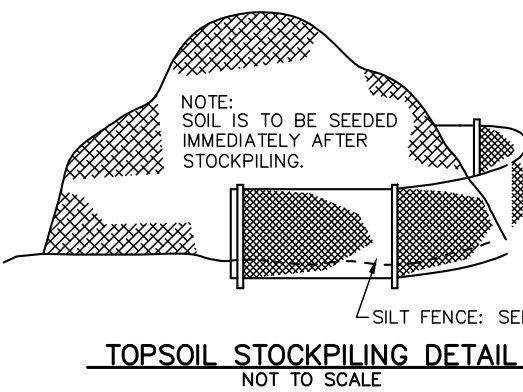
Restoration of compacted soils shall be through deep scarification/tillage (6" minimum depth) where there is no danger to underground utilities (cables, irrigation systems, etc.). In the alternative, another method as specified by a New Jersey Licensed Professional Engineer maybe substituted subject to District Approval.

Simplified Testing Methods



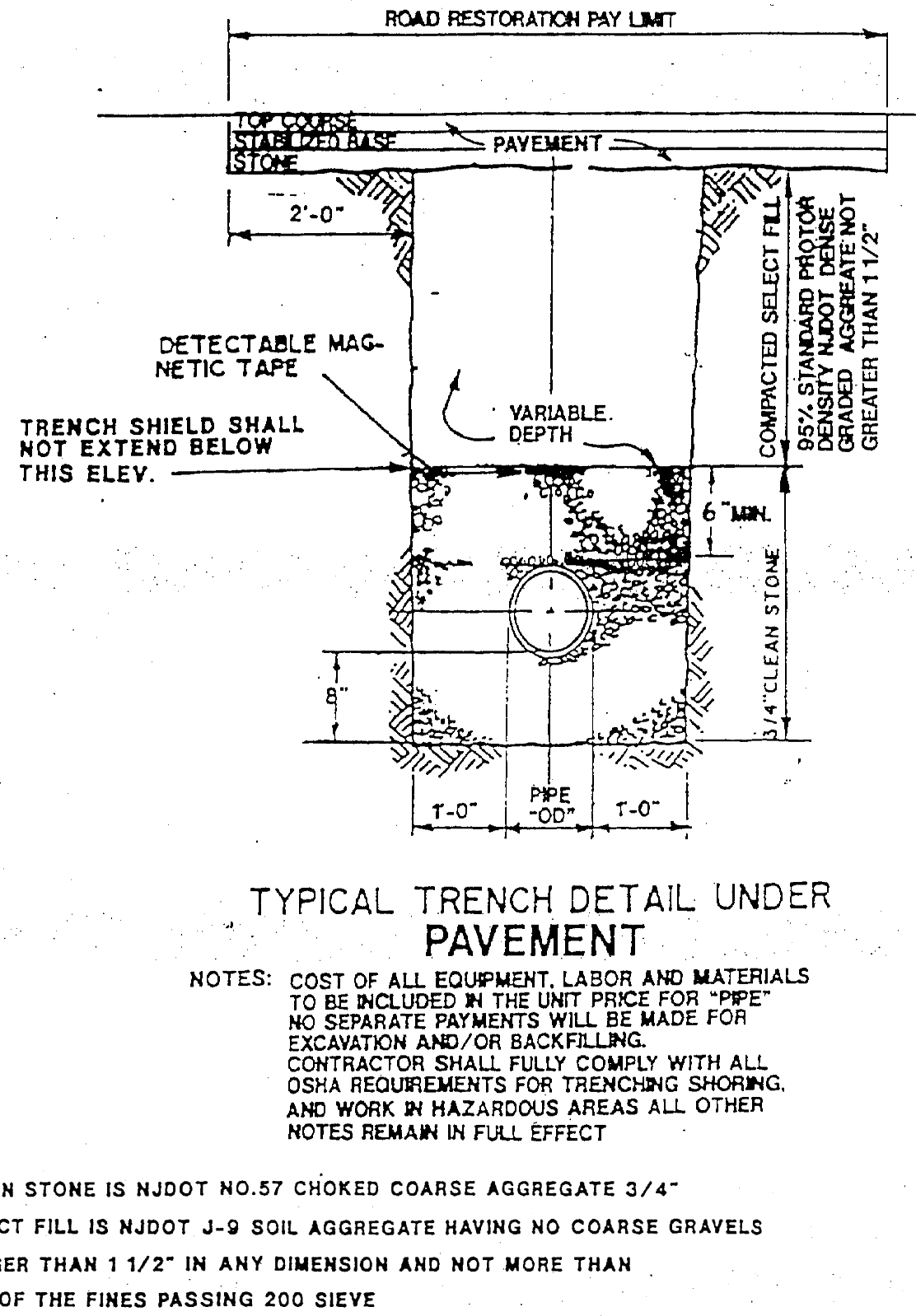
SEQUENCE OF CONSTRUCTION

- | | |
|-----------|---|
| DAY 1 | INSTALL SOIL EROSION & SEDIMENT CONTROL STRIP & STOCKPILE TOPSOIL |
| WEEK 1 | CONSTRUCT HOUSE, UNDERGROUND UTILITIES, TEMPORARILY STABILIZE DISTURBED AREAS |
| WEEK 2-26 | PERMANENTLY STABILIZE DISTURBED AREAS |
| WEEK 27 | REMOVE SOIL EROSION DEVICES |
| LAST DAY | |



- Bedding Notes:
- A. COMPACTED AND CHOKED SUITABLE MATERIAL (6" LETS MAX. SIMULTANEOUS ON BOTH SIDES OF PIPE)
 - B. ALL EXCAVATIONS AND BACKFILL BEYOND THE TRENCH PAVEMENT LIMIT SHALL BE AT THE EXPENSE AND RESPONSIBILITY OF THE CONTRACTOR.
 - C. NJ DOT NO. 57 COARSE AGGREGATE (CHOKED)
- Notes:
1. ALL COUPLINGS, PLUGS AND CAPS SHALL BE STANDARD TYPE OF PIPE USED AND INSTALLATION WATER-TIGHT.
 2. CLEANOUTS OR INSPECTION WYES ARE TO BE LOCATED AS SHOWN ON DETAIL.
 3. 1/4" PER FOOT SLOPE GOVERNS OVER CONFLICTS WITH 5 FOOT MINIMUM COVER DIMENSION.
 4. FOR PIPE BEDDING DETAILS, SEE DETAILS THIS SHEET, WHERE A NEW PVC HOUSE CONNECTION IS TO BE INSTALLED.
 5. ALL COUPLINGS SHALL BE STANDARD.

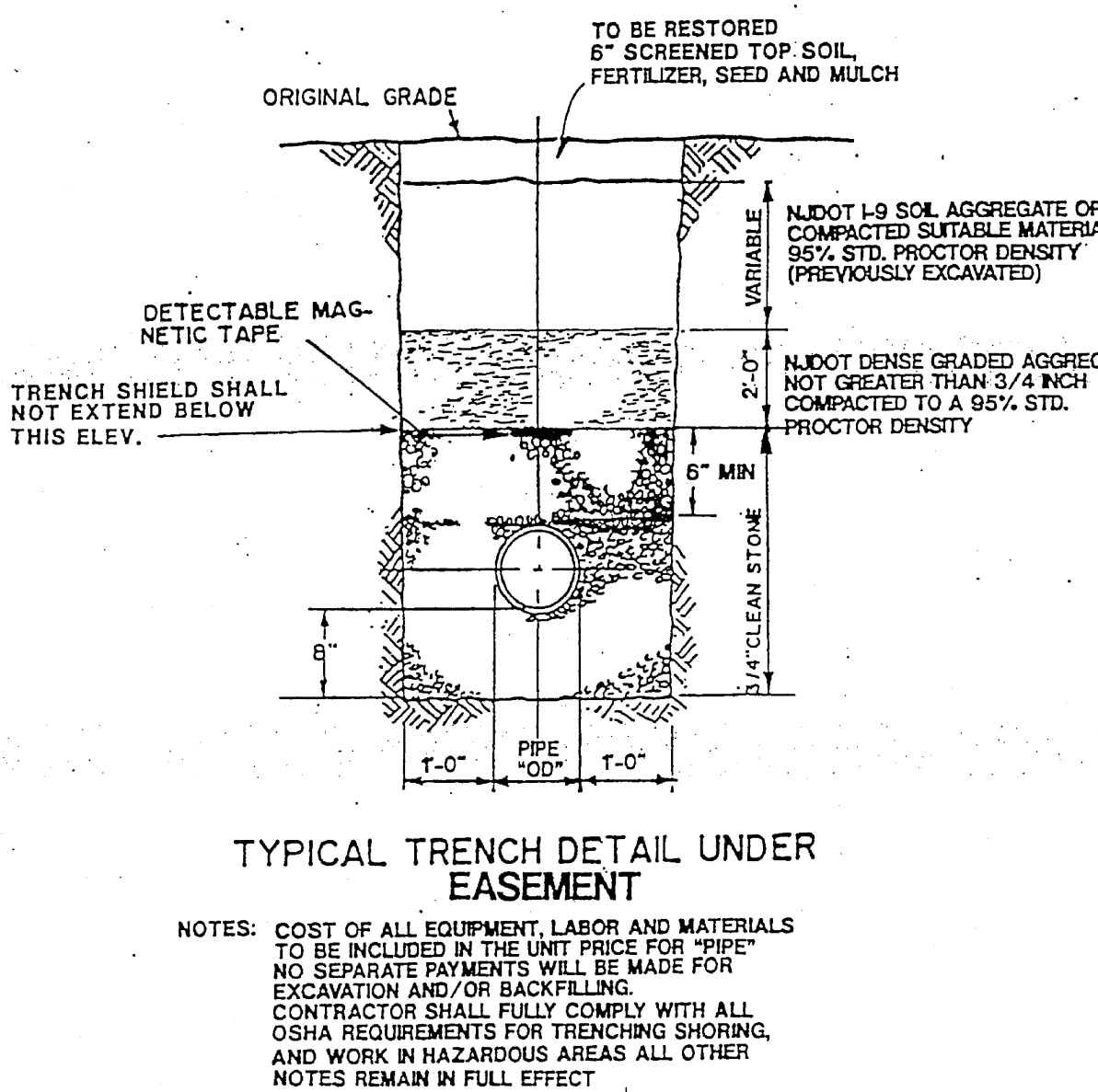
- Note:
1. TYPE A GRATE TO BE CAMPBELL CASTING PATTERN NO. 3432 STREAM FLOW GRATING OR EQUIVALENT.
 2. INLET MAY BE CONSTRUCTED OF BLOCK OR PRECAST.



TYPICAL TRENCH DETAIL UNDER PAVEMENT

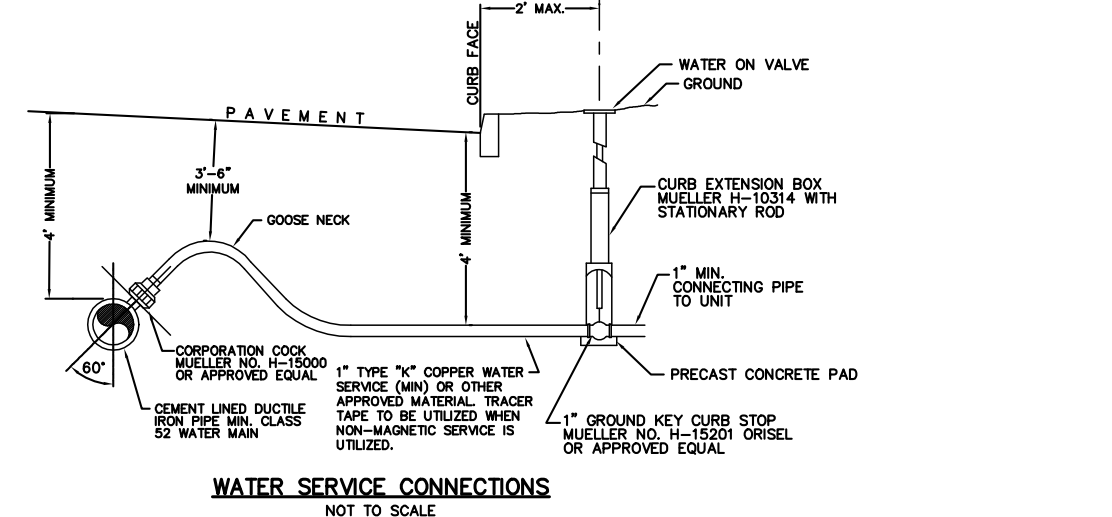
NOTES: COST OF ALL EQUIPMENT, LABOR AND MATERIALS TO BE INCLUDED IN THE UNIT PRICE FOR "PIPE" NO SEPARATE PAYMENTS WILL BE MADE FOR EXCAVATION AND/OR BACKFILLING CONTRACTOR SHALL FULLY COMPLY WITH ALL OSHA REQUIREMENTS FOR TRENCHING SHORING, AND WORK IN HAZARDOUS AREAS ALL OTHER NOTES REMAIN IN FULL EFFECT

CLEAN STONE IS NJDOT NO.57 CHOKED COARSE AGGREGATE 3/4" SELECT FILL IS NJDOT J-9 SOIL AGGREGATE HAVING NO COARSE GRAVELS LARGER THAN 1 1/2" IN ANY DIMENSION AND NOT MORE THAN 10% OF THE FINES PASSING 200 SIEVE



TYPICAL TRENCH DETAIL UNDER EASEMENT

NOTES: COST OF ALL EQUIPMENT, LABOR AND MATERIALS TO BE INCLUDED IN THE UNIT PRICE FOR "PIPE" NO SEPARATE PAYMENTS WILL BE MADE FOR EXCAVATION AND/OR BACKFILLING CONTRACTOR SHALL FULLY COMPLY WITH ALL OSHA REQUIREMENTS FOR TRENCHING SHORING, AND WORK IN HAZARDOUS AREAS ALL OTHER NOTES REMAIN IN FULL EFFECT



WATER SERVICE CONNECTIONS

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ENGINEERS SURVEYORS PLANNERS
831 UNION AVENUE
MIDDLESEX, NEW JERSEY 08846
Phone: 732-356-9322 Fax: 732-356-6015
FISKASSOCIATES@aol.com

05/14/2020

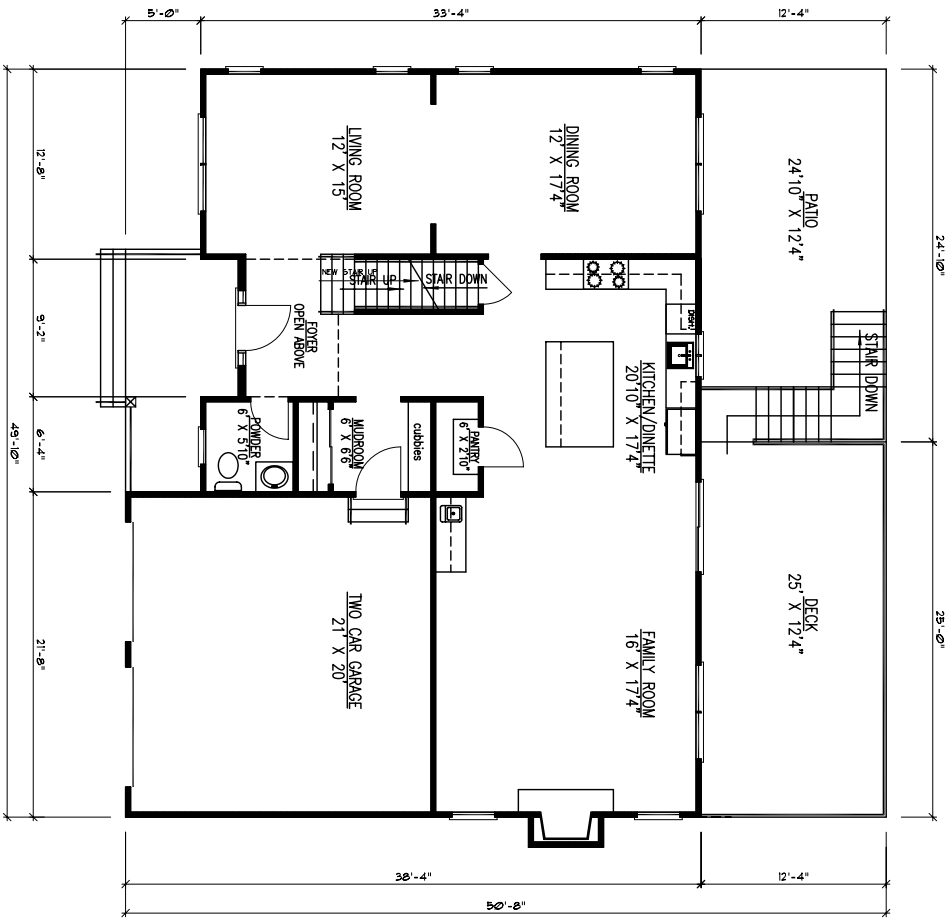
STEPHEN M. FISK, L.S., LIC.# 23919
ROBERT GAZZALE, P.E., L.S., LIC# 35363
L.S. - NEW JERSEY PROFESSIONAL LAND SURVEYOR
P.E. - NEW JERSEY PROFESSIONAL ENGINEER

SOIL EROSION DETAILS, NOTES, DECOMPACTION CONSTRUCTION DETAILS

5 SKY HIGH TERRACE
LOT 5 BLOCK 904
TOWNSHIP OF BRIDGEWATER
SOMERSET COUNTY ~ NEW JERSEY

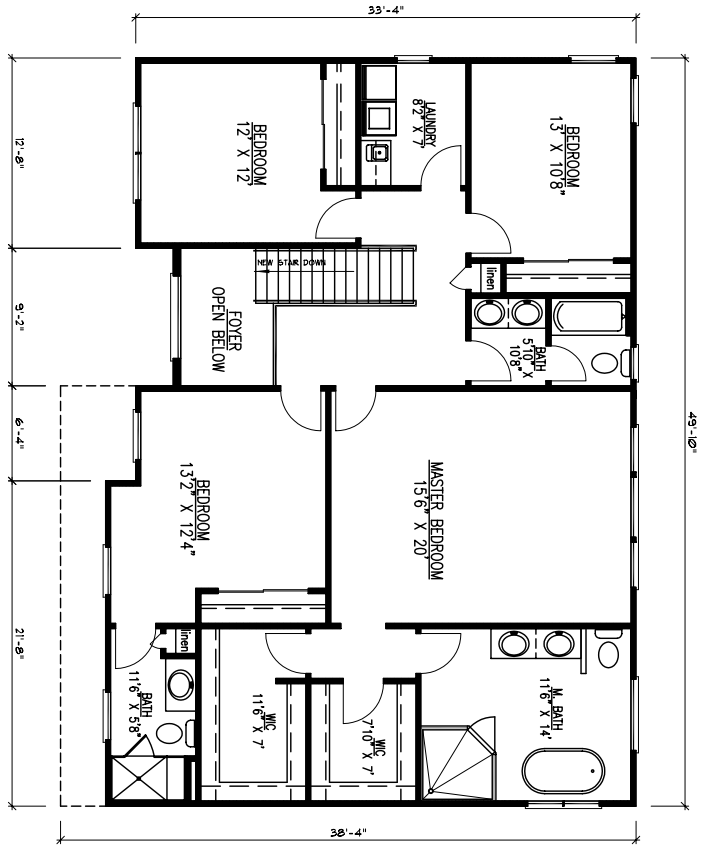
REVISIONS	
1	NO CHANGE THIS SHEET 05/14/2020

SCALE: AS NOTED	FIELD BOOK/PAGE: 635/22	JOB#:	SHEET: 5
DATE: JANUARY 2, 2020	DRAWN BY: EASL	BR-5883	5



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

THIS PLAN MEETS NEW JERSEY ENERGY CODE PER BULLETIN 19-2: COMPLIANCE WITH RESCHECK SOFTWARE.	
N.J.I.C.C. REQUIREMENTS 2018 INTERNATIONAL RESIDENTIAL CODE NEW JERSEY EDITION	
USE GROUP	R-5
CONSTRUCTION TYPE	5B
WIND SPEED	115 MPH
EXPOSURE CATEGORY	B
LIVE LOADS	40 PSF
FLOORS	30 PSF
BEDROOM FLOORS	30 PSF
ATTIC (UNGRADED BY MEAS. TYPE ONLY)	20 PSF
CEILINGS	30 PSF
ROOF	60 PSF
DECK	60 PSF
AREA	1311 SF
1st FL	1682 SF
2nd FL (INCLUDES OPEN AREAS)	2443 SF
TOTAL	41 SF
OPEN AREAS	

FOR PLANNING BOARD OR BOARD OF ADJUSTMENT ONLY. NOT TO BE USED FOR CONSTRUCTION PERMIT.

FIRST FLOOR PLAN

A-1

Proposed Dwelling For:
SKYMAN PROPERTIES, LLC
5 SKY HIGH TERRACE
BRIDGEWATER, NEW JERSEY

FEB. 26, 2020
1 of 2
DRAWN BY: DMP

ROGER C. WINKLE, AIA
ARCHITECT

ROGER C. WINKLE - ARCHITECT
947 PARK AVENUE
PLAINFIELD, NJ 07060

(908) 561-5580
FAX (908) 561-5155

Noted: See also N.J. Reg. Code, N.J.A.C. 17:27, for rules governing the practice of architecture in New Jersey. PEN. 14A, N.J.A.C. 17:27-8

Signature of Roger C. Winkle



ECOLOGICAL RESOURCES INVENTORY and IMPACT ASSESSMENT REPORT

*Sky High Terrace
Residential Dwelling Construction Project*

Block 904 - Lot 5

Bridgewater Township

Somerset County, New Jersey

Specializing in the Assessment and Management of the Ecological Resources

315 Mountain View Drive, Kunkletown, Pennsylvania 18058
Phone: (610) 681-6030 • Fax: (610) 681-6031



**ENVIRONMENTAL ASSOCIATES
INC.**

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ECOLOGICAL RESOURCES INVENTORY and IMPACT ASSESSMENT REPORT

*Sky High Terrace
Residential Dwelling Construction Project*

Block 904 - Lot 5

Bridgewater Township

Somerset County, New Jersey

Prepared For:

Sky Manor Properties, LLC

**1 Cobble Lane
Basking Ridge, New Jersey 07920**

Prepared By:

Eastern States Environmental Associates, Inc.

January 31, 2020

**ECOLOGICAL RESOURCES INVENTORY
and
IMPACT ASSESSMENT REPORT**

TABLE OF CONTENTS

<u>Section</u>	<u>Page</u>
I. Introduction	1
II. Study Area Location and Specifications	1
III. Summary of Proposed Project	2
A. Utilities	2
B. Sanitary Sewer	2
C. Water Supply	3
D. Stormwater Management	3
E. Traffic	3
F. Solid Waste and Recycling	3
IV. Selected Ecological Resources	4
A. Overview of Existing Conditions	4
B. Geology	4
C. Soils	4
D. Vegetation and Natural Communities	5
E. Water Resources	7
1. Drainage	7
2. Surface Water Quality	7
F. Jurisdictional Freshwater Wetlands	7
1. Jurisdictional Wetlands Determination	7
2. Wetland Resource Value and Transition Areas	8
G. Wildlife Habitat and Utilization Potential	9
H. Threatened/Endangered Species Support Potential	15
I. Unique Natural Features	18
J. Steep Slopes	18

EASTERN STATES
ENVIRONMENTAL ASSOCIATES
INC.

ii.

<u>Section</u>	<u>Page</u>
V. Anticipated Impacts to Selected Ecological Resources	18
A. Geology	18
B. Soils	18
C. Vegetation and Natural Communities	19
D. Water Resources	19
E. Jurisdictional Freshwater Wetlands	19
F. Wildlife Habitat and Utilization Potential	20
G. Threatened/Endangered Species Support Potential	20
H. Unique Natural Features	21
I. Steep Slopes	21
J. Air Quality	21
K. Ambient Noise	21
VII. References	22
VIII. Appendices	24
A. Figures	25
B. Photographs of the Project Site	30
C. New Jersey Natural Heritage Program Database Review and Landscape Project Mapping	35
D. Professional Credentials	39

LIST OF TABLES

<u>Table</u>	<u>Page</u>
4B.1 Selected Characteristics and Limitations of On-Site Soil Types	5
4D.1 Vegetation Species Predominantly Occurring in the Upland Forest Habitat	6
4F.1 Wetland Resource Value Classifications	8
4F.2 Wetland Transition Area Distances	9
4G.1 Mammalian Species Potentially Associated with the Property	11
4G.2 Reptilian/Amphibian Species Potentially Associated with the Property	12
4G.3 Avian Species Potentially Associated with the Property	12
4H.1 Threatened and Endangered Species Potentially Associated with the Property	17

I. INTRODUCTION

This Ecological Resources Inventory and Impact Assessment Report is prepared pertaining to the conducted research of the Subject Property presently known as **Block 904 - Lot 5** in the **Township of Bridgewater, Somerset County, New Jersey** (Property). Research of the selected ecological resources of the Property addressed in this report consisted of both literature review and field investigations conducted in January of 2020. The impact assessment is based upon the inventoried ecological resources along with the proposed development plan designed by Fisk Associates, P.A. of Middlesex, New Jersey.

This report contains detailed information pertaining to selected ecological resources of concern and the anticipated impact to said resources as a result of the undertaking of the proposed development plan. This report is provided for any individual or regulatory agency, commission, or board desiring a professional assessment of the selected ecological resources addressed herein and the related impacts resulting from the proposed project.

II. STUDY AREA LOCATION AND SPECIFICATIONS

This Property is located in Bridgewater Township, Somerset County, New Jersey and includes approximately 2.5196 acres (Appendix A - Figure #A1). This Property is situated at the southern terminus of Sky High Terrace.

The New Jersey State Plane Coordinates for the center of the Property are 463618 feet E and 654953 feet N as illustrated on the Bernardsville, New Jersey USGS Quadrangle Map (Appendix A - Figure #A2).

III. SUMMARY OF PROPOSED PROJECT

The Property is presently undeveloped, unmanipulated and wooded. The proposed project includes the construction of one (1) single family residential dwelling in the northern corner of the Property.

All engineering designs have been prepared by Fisk Associates, P.A. of Middlesex, New Jersey. Whereas various characteristics of the proposed development plan are briefly summarized in this report, all engineering designs of this project are described and illustrated in detail on Site Plan Maps and engineering reports prepared by Fisk Associates.

A. UTILITIES

Public utilities are currently providing service to adjacent properties and dwellings along Sky High Terrace. The proposed new dwellings will be connected to the same public utilities.

B. SANITARY SEWER

Per NJAC 7:14A23-3, projected flows from a single family residential dwelling with three or more bedrooms is calculated to be 300 gallons per day (GPD). The proposed project will result in the addition of one (1) residential dwelling. Given the addition of one residential dwelling, the proposed project will result in a 300 GPD increase in sanitary sewer flows. The new dwelling will be connected to the sanitary sewer line which exists within an easement along the northwestern border of the property.

C. WATER SUPPLY

The proposed dwelling will be serviced by the provided public water supply. Pursuant to Domestic Water Demand per NJAC 5:21-5.2, Table 5.1 of RSIS, the anticipated water use of the proposed dwelling is 320 GPD with a peaking factor of 1.5. Therefore, total anticipated water use may be calculated to be 480 GPD. It is understood that the water supplier (NJ American Water) has a more than adequate water supply for the proposed project.

D. STORMWATER MANAGEMENT

Since the project is not considered as a major development, a specific stormwater management plan is not required. However, collecting swales and roof leaders will be utilized and will discharge to the municipal storm sewer. Existing drainage patterns will be maintained on the Property. No detrimental impacts to adjoining properties will occur as a result of the proposed project.

E. TRAFFIC

Pursuant to NJAC 5:21-4.1, Table 4.1 (RSIS), a single family home is expected to generate a peak trip rate of 10.1 trips per day. The addition of one single family home will not adversely impact existing traffic patterns associated with Sky High Terrace.

F. SOLID WASTE AND RECYCLING

The solid waste generate by the proposed project will be that typical of a residential dwelling and will be subject to the requirements of the garbage removal service contracted by the municipality. Recycling will be separated from the normal household garbage and is collected separately.

IV. SELECTED ECOLOGICAL RESOURCES

A. OVERVIEW OF EXISTING CONDITIONS

The Property is presently undeveloped, unmanipulated and wooded. All lands immediately adjacent to the Property consist of moderate density residential development.

B. GEOLOGY

The Property is underlain by Preakness Basalt bedrock geology (Jp). The Property is underlain by weathered basalt surficial geology (Qwb).

C. SOILS

The Soil Survey of Somerset County, New Jersey, prepared by the US Soil Conservation Service (USSCS) was consulted with regard to the soil types existing on the Property along with general characteristics and limitations of said soils.

As depicted on the Sheet #11 of the Soil Survey of Somerset County, New Jersey, one (1) soil type is determined to be associated with the Property (Appendix A - Figure #A4). The soil type determined to be associated with the Property includes the following:

- Neshaminy very stony silt loam, 18 to 35% slopes (NhE)

Some characteristics and limitations of the soil type which is determined to occur on the Property are illustrated in Table #4B.1.

TABLE #4B.1 Selected characteristics and limitations of on-site soil types.				
Soil Type	Hydric. Classif. (USSCS)	Seasonal High Water (feet)	Delineated Wetlands / SOW	Development Limitations
NhE	No	5+ feet	No	Severe due to slope

D. VEGETATION AND NATURAL COMMUNITIES

Field evaluations of the Property determined that the Property is presently unmanipulated and wooded in its entirety. Lands immediately adjacent to the Property are developed with single family residential dwellings although the Property is part of a wooded corridor which extends to the northwest and to the southeast of the Property. The steep slopes associated with the adjacent lands have allowed for a continuum of forested habitat despite the development of single family dwellings. This land use/habitat type is described as follows:

Upland Forest Habitat:

This habitat type occurs throughout the Property. The natural forested habitat associated with the Property is determined to be contiguous with the forested habitat corridor which extends to the northwest and southeast of the Property and is generally associated with the steep sloping lands.

Canopy vegetation is generally high in coverage density (90-100% coverage) throughout this habitat. Subcanopy vegetation ranges from low to moderate in coverage density (20-50% coverage). Shrub layer vegetation ranges from low to moderate in coverage density (10-50% coverage). Ground cover vegetation is generally low in coverage density (10-20% coverage). Vegetation species predominantly occurring throughout this habitat are included in Table #4D.1.

Although residential dwellings have been constructed amidst this habitat, ecological amenities or functions typically associated with this habitat type are still provided by this habitat.

E. WATER RESOURCES

1. DRAINAGE

The Property is located in the North Branch Raritan River Sub-watershed; North Branch Raritan River Watershed, Raritan River Drainage Basin. No streams or waterways exist on or adjacent to the Property. Drainage of the Property follows the slope in a southwesterly direction. Drainage of the Property and surrounding lands is ultimately associated with Chambers Brook which exists a distance to the west of the Property.

2. SURFACE WATER QUALITY

No streams or waterways exist on or in the vicinity of the Property. Chambers Brook along with the downstream waters of the North Branch Raritan River, into which drainage of the Property and surrounding lands is ultimately associated, are classified as FW-2 Non-Trout Waters by the NJDEP. These classified waters are determined to be unable to support trout species throughout the entire year. Trout are generally used as indicator species of high quality waters because of the species' demand of well oxygenated, minimal sedimentation impacted and overall high quality waters.

F. JURISDICTIONAL FRESHWATER WETLANDS

1. JURISDICTIONAL WETLANDS DETERMINATION

The field determination of freshwater wetland areas is based on a three (3) parameter system of assessment which is described in the "Federal Manual for Identifying and Delineating Jurisdictional Wetlands" developed by the Interagency Cooperative consisting of the U.S.

Environmental Protection Agency (USEPA), the U.S. Fish and Wildlife Service (USFWS), the U.S. Soil Conservation Service (USSCS), and the U.S. Army Corps of Engineers (USACOE). This system of wetland assessment is currently accepted by the New Jersey Department of Environmental Protection (NJDEP). The three parameters of this system include:

1. Predominance of Hydrophytic Vegetation.
2. Occurrence of Hydric Soils.
3. Evidence of Hydrology.

According to said methodology, designated freshwater wetlands are those areas in which all three parameters are satisfied. However, certain circumstances may warrant a slight deviation regarding the requirements for wetland designation.

Field evaluations of the Property determined that no area of the Property satisfies the criteria required for designation as wetlands or State Open Waters (SOW).

2. WETLAND RESOURCE VALUE AND TRANSITION AREAS

As described in NJAC 7:7A-2.5, freshwater wetlands are divided into three classifications based on their determined resource value. Table #4F.1 illustrates the designation criteria utilized by the NJDEP in determining the Wetland Resource Value of a given wetland area.

As described in NJAC 7:7A-6, 7, 16.6 and 16.7, the wetland transition area (WTA) distance required from a wetland boundary is determined by the Wetland Resource Value assigned to the particular wetland area. Table #4F.2 illustrates the WTA distances required of the various Wetland Resource Value Classifications.

TABLE #4F.1 WETLAND RESOURCE VALUE CLASSIFICATIONS	
RESOURCE VALUE	CRITERIA FOR CLASSIFICATION
Exceptional Resource Value	<ul style="list-style-type: none">• Discharge into FW-1 or FW-2 Trout Production Waters• Present or documented habitat utilized by threatened or endangered species
Ordinary Resource Value	<ul style="list-style-type: none">• Do not satisfy criteria of Exceptional Resource Value• Isolated and more than 50% surrounded by development and less than 5000 sf in size• Man-made drainage ditches, detention facilities and swales
Intermediate Resource Value	<ul style="list-style-type: none">• Those not defined as Exceptional or Ordinary Resource Value

TABLE #4F.2 WETLAND TRANSITION AREA DISTANCES	
WETLAND RESOURCE VALUE	WETLAND TRANSITION AREA DISTANCE
Exceptional Resource Value	150 feet
Intermediate Resource Value	50 feet
Ordinary Resource Value	0 feet

Field evaluations of the Property determined that no area of the Property is encompassed within a WTA associated with an off-site wetland.

G. WILDLIFE HABITAT AND UTILIZATION POTENTIAL

The quality of a given area with regard to wildlife utilization is determined by the diversity of habitat types present, the amounts of such habitats, and the overall distribution of the various habitat types. Whereas species of wildlife are generally specific as to a particular type of habitat, an

area which possesses a good diversity of quality habitats distributed in a manner which promotes plentiful transition areas, will generally possess a good diversity of wildlife species which utilize the area.

In accordance with the inventoried habitats associated with this Property, the ranges and preferred habitats of potentially occurring wildlife and threatened/endangered species were analyzed in relation to the geographic location of this area and to the habitat characteristics associated with this Property. Determinations were then made pertaining to the possibility of the occurrence of certain wildlife species in this area. Confirmation of wildlife and threatened/endangered species usage of the habitats associated with this Property was determined by actual sightings and/or observation of tracks, scats, vocal, and/or other apparent signs. Rocks and logs were overturned, inspected, and then replaced in the preferred habitats of amphibian and reptilian species during this inventory process.

Based upon the field evaluation of the types and quality of existing natural habitats associated with the Property, determinations were made as to those wildlife species which have a potential of utilizing said habitats. Tables #4G.1, 4G.2 and 4G.3 include a listing of those mammalian, reptilian/amphibian and avian wildlife species, respectively, determined to have a significant potential of utilizing the habitats associated with the Property. Notation is made regarding those wildlife species whose occurrence on the Property was confirmed during field investigations.

The field inventory and evaluation determined that the wildlife utilization potential of the habitat present on Property is high for those wildlife species which prefer forested habitat given the Property's inclusion within forested habitat corridor which extends to the northwest and southeast of the Property. Although residential dwellings do exist amidst this habitat, the lot sizes are generally large so sufficient undeveloped habitat remains to encourage utilization by wildlife.

**TABLE #4G.1 MAMMALIAN SPECIES POTENTIALLY
ASSOCIATED WITH THE PROPERTY**

COMMON NAME	SCIENTIFIC NAME	LOCATION ON SITE
Bat, Big Brown	<i>Eptesicus fuscus</i>	UF
Bat, Evening	<i>Nycticeius humeralis</i>	UF
Chipmunk, Eastern	<i>Tamias striatus</i>	UF
Coyote	<i>Canis latrans</i>	UF
Deer, White-tailed	<i>Odocoileus virginianus</i>	UF*
Fox, Red	<i>Vulpes vulpes</i>	UF
Mole, Eastern	<i>Scalopus aquaticus</i>	UF
Mouse, Deer	<i>Peromyscus maniculatus</i>	UF
Mouse, House	<i>Mus musculus</i>	UF
Mouse, White-footed	<i>Peromyscus leucopus</i>	UF
Myotis, Little Brown	<i>Myotis lucifugus</i>	UF
Myotis, Small-footed	<i>Myotis leibii</i>	UF
Opossum, Virginia	<i>Didelphis virginiana</i>	UF
Rabbit, Eastern Cottontail	<i>Sylvilagus floridanus</i>	UF
Raccoon	<i>Procyon lotor</i>	UF
Rat, Norway	<i>Rattus norvegicus</i>	UF
Shrew, Short-tailed	<i>Blarina brevicauda</i>	UF
Skunk, Striped	<i>Mephitis mephitis</i>	UF
Squirrel, Gray	<i>Sciurus carolinensis</i>	UF*
Squirrel, Red	<i>Tamiasciurus hudsonicus</i>	UF
Vole, Meadow	<i>Microtus pennsylvanicus</i>	UF
Weasel, Long-tailed	<i>Mustela frenata</i>	UF
Woodchuck	<i>Marmota monax</i>	UF

KEY: UF = Upland Forest Habitat * = Confirmed during site inspection

TABLE #4G.2 REPTILIAN/AMPHIBIAN SPECIES POTENTIALLY ASSOCIATED WITH THE PROPERTY

COMMON NAME	SCIENTIFIC NAME	LOCATION ON SITE
Frog, Upland Chorus	<i>Pseudacris triseriata</i>	UF
Frog, Wood	<i>Rana sylvatica</i>	UF
Salamander, Red-backed	<i>Plethodon cinereus</i>	UF
Salamander, Two-lined	<i>Eurycea bislineata</i>	UF
Snake, Black Racer	<i>Coluber constrictor</i>	UF
Snake, Black Rat	<i>Elaphe obsoleta</i>	UF
Snake, Eastern Garter	<i>Thamnophis sirtalis</i>	UF
Snake, Eastern Ribbon	<i>Thamnophis sauritus</i>	UF
Snake, Northern Brown	<i>Storeria dekayi</i>	UF
Snake, Northern Water	<i>Natrix sipedon</i>	UF
Toad, American	<i>Bufo americanus</i>	UF
Turtle, Eastern Box	<i>Terrapene carolina</i>	UF
KEY: UF = Upland Forest Habitat * = Confirmed during site inspection		

TABLE #4G.3 AVIAN SPECIES POTENTIALLY ASSOCIATED WITH THE PROPERTY

COMMON NAME	SCIENTIFIC NAME	LOCATION ON SITE
Blackbird, Red-winged	<i>Agelaius phoeniceus</i>	UF
Blue Jay	<i>Cyanocitta cristata</i>	UF
Cardinal, Northern	<i>Cardinalis cardinalis</i>	UF
Chickadee, Black-capped	<i>Parus atricapillus</i>	UF
Cowbird, Brown-headed	<i>Molothrus ater</i>	UF
Creeper, Brown	<i>Certhia familiaris</i>	UF

**EASTERN STATES
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**TABLE #4G.3 AVIAN SPECIES POTENTIALLY ASSOCIATED
WITH THE PROPERTY**

COMMON NAME	SCIENTIFIC NAME	LOCATION ON SITE
Crow, American	<i>Corvus brachyrhynchos</i>	UF*
Dove, Mourning	<i>Zenaidura macroura</i>	UF
Finch, House	<i>Carpodacus mexicanus</i>	UF
Finch, Purple	<i>Carpodacus purpureus</i>	UF
Flicker, Common	<i>Colaptes auratus</i>	UF
Flycatcher, Great-crested	<i>Myiarchus cinerascens</i>	UF
Flycatcher, Least	<i>Empidonax minimus</i>	UF
Goldfinch, American	<i>Carduelis tristis</i>	UF
Grackle, Common	<i>Quiscalus quiscula</i>	UF
Grosbeak, Evening	<i>Hesperiphona vespertina</i>	UF
Grosbeak, Rose-breasted	<i>Pheucticus ludovicianus</i>	UF
Hawk, Broad-winged	<i>Buteo platypterus</i>	UF
Hawk, Cooper's	<i>Accipiter cooperii</i>	UF
Hawk, Red-tailed	<i>Buteo jamaicensis</i>	UF
Hawk, Sharp-shinned	<i>Accipiter striatus</i>	UF
Junco, Northern	<i>Junco hyemalis</i>	UF*
Kingbird, Eastern	<i>Tyrannus verticalis</i>	UF
Mockingbird, Northern	<i>Mimus polyglottos</i>	UF
Nuthatch, Red-breasted	<i>Sitta canadensis</i>	UF
Nuthatch, White-breasted	<i>Sitta carolinensis</i>	UF
Oriole, Northern	<i>Icterus galbula</i>	UF
Ovenbird	<i>Seiurus aurocapillus</i>	UF
Owl, Barn	<i>Tyto alba</i>	UF
Owl, Barred	<i>Strix varia</i>	UF
Owl, Common Screech	<i>Otus asio</i>	UF
Owl, Great-horned	<i>Bubo virginianus</i>	UF
Pewee, Eastern	<i>Contopus virens</i>	UF

**EASTERN STATES
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**TABLE #4G.3 AVIAN SPECIES POTENTIALLY ASSOCIATED
WITH THE PROPERTY**

COMMON NAME	SCIENTIFIC NAME	LOCATION ON SITE
Phoebe, Eastern	Sayornis phoebe	UF
Redstart, American	Setophaga ruticilla	UF
Robin, American	Turdus migratorius	UF
Sparrow, Chipping	Spizella passerina	UF
Sparrow, Field	Spizella pusilla	UF
Sparrow, Fox	Passerella iliaca	UF
Sparrow, House	Passer domesticus	UF*
Sparrow, Song	Melospiza melodia	UF
Sparrow, Tree	Spizella arborea	UF
Sparrow, White-throated	Zonotrichia albicollis	UF
Starling, European	Sturnus vulgaris	UF*
Swallow, Barn	Hirundo rustica	UF
Swallow, Tree	Iridoprocne bicolor	UF
Tanager, Scarlet	Piranga olivacea	UF
Thrasher, Brown	Toxostoma rufum	UF
Thrush, Hermit	Catharus guttatus	UF
Thrush, Wood	Holocichla mustelina	UF
Titmouse, Tufted	Parus bicolor	UF
Towhee, Rufous-sided	Pipilo erythrophthalmus	UF
Turkey, Wild	Meleagris gallopavo	UF
Veery	Catharus fuscescens	UF
Vireo, Red-eyed	Vireo olivaceus	UF
Vireo, Yellow-throated	Vireo flavifrons	UF
Vulture, Turkey	Cathartes aura	UF
Warbler, Black and White	Mniotilta varia	UF
Warbler, Black-throated Blue	Dendroica caerulescens	UF
Warbler, Black-throated Green	Dendroica virens	UF

**EASTERN STATES
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**TABLE #4G.3 AVIAN SPECIES POTENTIALLY ASSOCIATED
WITH THE PROPERTY**

COMMON NAME	SCIENTIFIC NAME	LOCATION ON SITE
Warbler, Blue-Winged	<i>Vermivora pinus</i>	UF
Warbler, Chestnut-Sided	<i>Dendroica pensylvanica</i>	UF
Warbler, Golden-Winged	<i>Vermivora chrysoptera</i>	UF
Warbler, Palm	<i>Dendroica palmarum</i>	UF
Warbler, Yellow	<i>Dendroica petechia</i>	UF
Warbler, Yellow-Rumped	<i>Dendroica coronata</i>	UF
Waxwing, Cedar	<i>Bombycilla cedrorum</i>	UF
Woodcock, American	<i>Philohela minor</i>	UF
Woodpecker, Downy	<i>Picoides pubescens</i>	UF*
Woodpecker, Hairy	<i>Picoides villosus</i>	UF
Woodpecker, Pileated	<i>Dryocopus pileatus</i>	UF
Woodpecker, Red-Bellied	<i>Melanerpes carolinus</i>	UF
Woodpecker, Red-Headed	<i>Melanerpes erythrocephalus</i>	UF
Wren, House	<i>Troglodytes aedon</i>	UF
Yellowthroat	<i>Geothypis trichas</i>	UF
KEY: UF = Upland Forest Habitat * = Confirmed during site inspection		

H. THREATENED/ENDANGERED SPECIES SUPPORT POTENTIAL

An Endangered Species is referred to as a native fish, wildlife, or vegetation species which is threatened with extinction whenever its existence is endangered because of actual or threatened habitat destruction, drastic modification, and/or severe curtailment; over exploitation; disease; predation; and/or other factors. The survival of such species requires assistance. A Threatened Species is referred to as a native fish, wildlife, or vegetation species which may become endangered if conditions surrounding the species begin or continue to deteriorate.

During field inspections of the Property, no threatened or endangered species were observed nor was there any indication as to their occurrences. Additionally, the endangered and threatened species database maintained by the New Jersey Natural Heritage Program (NJNHP) was consulted regarding the documented occurrence of such species on or in the vicinity of the Property. As of the preparation date of this report, the NJNHP Database Review has not been received from the NJDEP. However, the NJNHP utilizes Landscape Project Version 3.3 for the compilation of threatened and endangered species occurrences and species based habitat mapping associated with a project site and general area.

According to NJDEP Landscape Project Version 3.3 (Landscape Project), the Property does not include any Rank 3 (State Threatened), Rank 4 (State Endangered) or Rank 5 (Federal Threatened/Endangered) Species Based Habitat (Appendix C - Figure #C1). According to the Landscape Project, Rank 2 Habitat may be associated with the Property since documented habitat for the Wood Thrush (Special Concern) may include this Property (Appendix C).

The field inventory and evaluation determined that the threatened and endangered species utilization potential of the Property may be low. Although the Property is included within a contiguous forested habitat corridor, threatened and endangered species utilization potential may be low given the occurrence of moderate density development along with the limited type of habitat present.

Table #4H.1 includes a list of threatened and endangered species which have been documented in Somerset County and for whom suitable habitat components may potentially occur on the Property. The probability of occurrence of each threatened or endangered species as indicated in Table #4H.1 was derived upon evaluation of the type and amount of relevant on-site habitats and comparison to the preferred habitat of the particular species. Availability of a more preferred or

prime habitat of a particular species in the general region of the Property was also taken into consideration when determining the indicated probability of the species' occurrence.

**TABLE #4H.1 THREATENED AND ENDANGERED WILDLIFE
SPECIES POTENTIALLY ASSOCIATED WITH
THE PROPERTY**

SPECIES	STATUS	PREFERRED HABITAT ASSOCIATED WITH THE PROPERTY	PROBABILITY OF UTILIZATION OF HABITAT ASSOCIATED WITH THE PROPERTY
Red-Headed Woodpecker (<i>Melanerpes erythrocephalus</i>)	T	UF	Low: due to non-preferred habitat characteristics and extent of disturbances.
Barred Owl (<i>Strix varia</i>)	T	UF	Low: due to extent of disturbances and lack of continuity with large forested wetland habitat.
Wood Turtle (<i>Clemmys insculpta</i>)	T	UF	Low: due to lack of suitable habitat characteristics
Long-Tailed Salamander (<i>Eurycea longicauda longicauda</i>)	T	UF	Low: due to lack of suitable habitat characteristics
KEY: T = Threatened E = Endangered U = Undetermined			
UF = Upland Forest Habitat * = Confirmed during site inspection			

I. UNIQUE NATURAL FEATURES

Aside from the steep slopes associated with the Property and adjacent lands, no features were determined to exist on or in the vicinity of the Property which could potentially be considered to possess unique qualities or amenities.

J. STEEP SLOPES

Portions of the Property contain areas which satisfy ordinance definition of steep slopes. It is determined that approximately 2,520sf of the Property contains slopes ranging from 11% to 19%; approximately 48,505sf of the Property contains slopes ranging from 20% to 29%; and approximately 58,727sf of the Property contains slopes greater than 30%.

V. ANTICIPATED IMPACTS TO SELECTED ECOLOGICAL RESOURCES

A. GEOLOGY

As described in Section IV-B (Selected Ecological Resources - Geology), the Property is underlain by the Preakness Basalt bedrock geology (Jp) and by weathered basalt surficial geology (Qwb). Whereas bedrock may be encountered during excavation procedures, construction activities may be required to address said limitations if encountered.

B. SOILS

As described in Section IV-C (Selected Ecological Resources - Soils) of this report, the NtE soil type which comprises the entire Property may possess development limitations due to the slope.

Accordingly, engineering design and regrading must accommodate the slope limitations associated with the Property.

C. VEGETATION AND NATURAL COMMUNITIES

As described in Section IV-D (Selected Natural Resources - Vegetation and Natural Communities) of this report, the Property is presently undeveloped and wooded. The Property is included within a wooded corridor which extends to the northwest and southeast of the Property. The footprint of disturbance associated with the proposed residential dwelling construction is limited to 0.422ac and is situated in the northern corner of the Property. Accordingly, the majority of the Property will remain undisturbed and wooded. The construction of the proposed dwelling in the northern corner of the Property will not serve to fragment the wooded habitat corridor of which this Property is included. Accordingly, it is anticipated that the upland forest habitat associated with the Property will continue to provide the amenities and function as provided at present.

D. WATER RESOURCES

As described in Section IV-E (Selected Ecological Resources - Water Resources) of this report, no streams or other regulated waters occur on or adjacent to the Property. All stormwaters generated by the proposed project will be managed by the site specific stormwater management designed for the Property.

E. JURISDICTIONAL FRESHWATER WETLANDS

As described in Section IV-F (Selected Ecological Resources - Jurisdictional Freshwater Wetlands) of this report, it is determined that jurisdictional waters, wetlands and WTA are absent.

on the Property. Accordingly, the proposed development will not result in the disturbance to any regulated waters, wetlands or WTA. Therefore, the proposed project will not require any wetlands related permits.

F. WILDLIFE HABITAT AND UTILIZATION POTENTIAL

As discussed in Section IV-G (Selected Ecological Resources - Wildlife), field inventory and evaluation determined that the upland forested habitat which occurs throughout the Property provides a good wildlife utilization potential for those species that prefer forested habitat. The footprint of disturbance associated with the proposed residential dwelling construction is limited to 0.422ac and is situated in the northern corner of the Property. Accordingly, the majority of the Property will remain undisturbed and wooded. The construction of the proposed dwelling in the northern corner of the Property will not serve to fragment the wooded habitat corridor of which this Property is included. Accordingly, it is anticipated that the upland forest habitat associated with the Property will continue to provide the amenities and function pertaining to wildlife utilization potential.

G. THREATENED AND ENDANGERED SPECIES SUPPORT POTENTIAL

As described in Section IV-H (Selected Ecological Resources - Threatened and Endangered Species) of this report, field inventory and evaluation determined that the threatened and endangered species utilization potential of the Property is generally low at present given the limited habitat type and occurrence of development. In that the Property is determined to provide low threatened and endangered species utilization potential in its present condition, the construction of the proposed dwelling in the northern corner of the Property will not serve to impact said utilization potential. Furthermore, the proposed project will not have any impact on the threatened and endangered species resource from a local or regional perspective.

H. UNIQUE NATURAL FEATURES

As discussed in Section IV-I (Selected Ecological Resources - Unique Natural Features) of this report, aside from steep slopes, no features of documented or potential unique significance were determined to exist on or in the vicinity of the Property. The construction of the proposed dwelling in the northern corner of the Property will allow for the majority of the Property to remain undeveloped and unmanipulated. Therefore, the proposed project will not result in any significant impact to this resource.

I. STEEP SLOPES

As discussed in Section IV-J (Selected Ecological Resources - Steep Slopes) of this report, steep slopes occur throughout the Property. The location of the proposed dwelling will occur in the northern corner of the Property within very close proximity to Sky High Terrace thereby minimizing the disturbance to the steep slopes throughout the Property.

I. AIR QUALITY

The addition of one single family dwelling to the existing moderate density residential neighborhood will not result in any impacts to air quality. In fact, modern heating and air conditioning systems to be utilized in the new houses are designed to improve air quality.

J. AMBIENT NOISE

The addition of one single family dwelling to the existing moderate density residential neighborhood will not result in any impacts to ambient noise. In fact, the modern heating and air conditioning systems to be utilized in the new houses are designed to improve ambient noise levels.

VII. REFERENCES

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Page 23.

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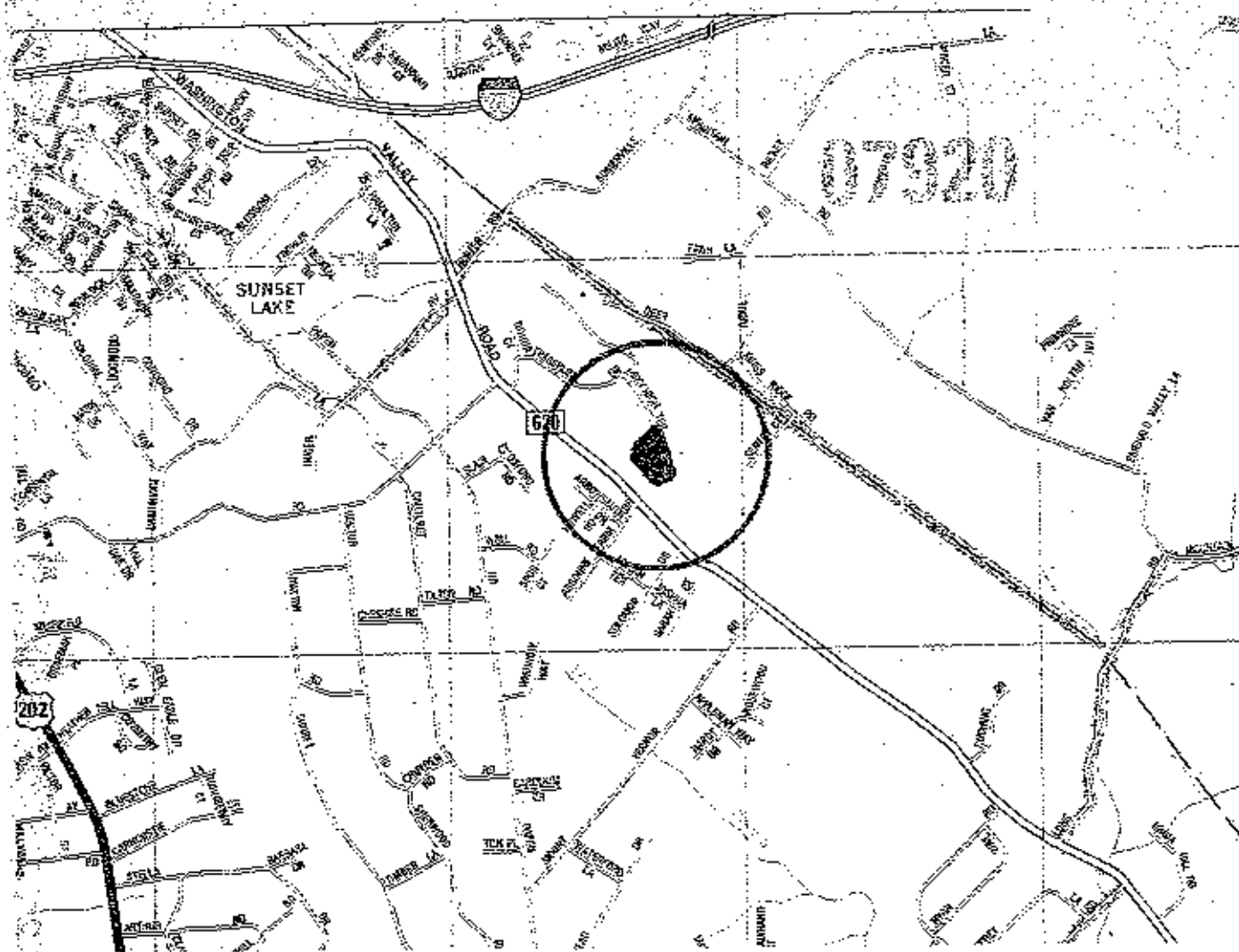
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VIII. APPENDICES

APPENDIX A

FIGURES

**EASTERN STATES
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Data Source:

Hagstrom Road Map,
Somerset County,
New Jersey

Scale 1" = 3800'



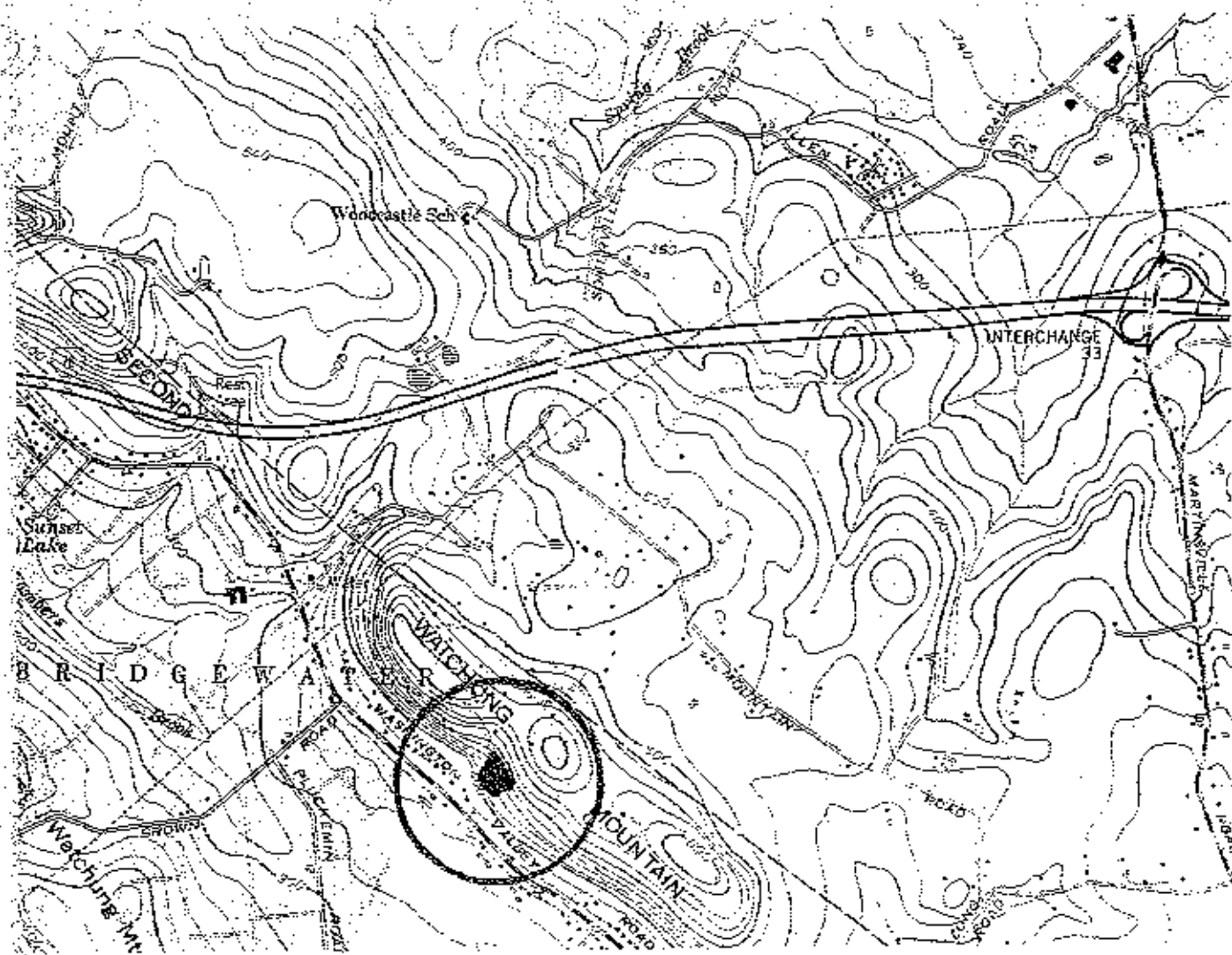
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315 Mountain View Drive
Kunkletown, PA 18058

Phone: (610) 681-6030
Fax: (610) 681-6031

**FIGURE #A1
GENERAL LOCATION
ROAD MAP**

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**FIGURE #A2
GENERAL LOCATION
USGS MAP**

Data Source:

USGS Quadrangle Map,
Bernardville, New Jersey

*Coordinates of Center
of Property:*

463618 feet East
654953 feet North

Scale 1" = 2000'

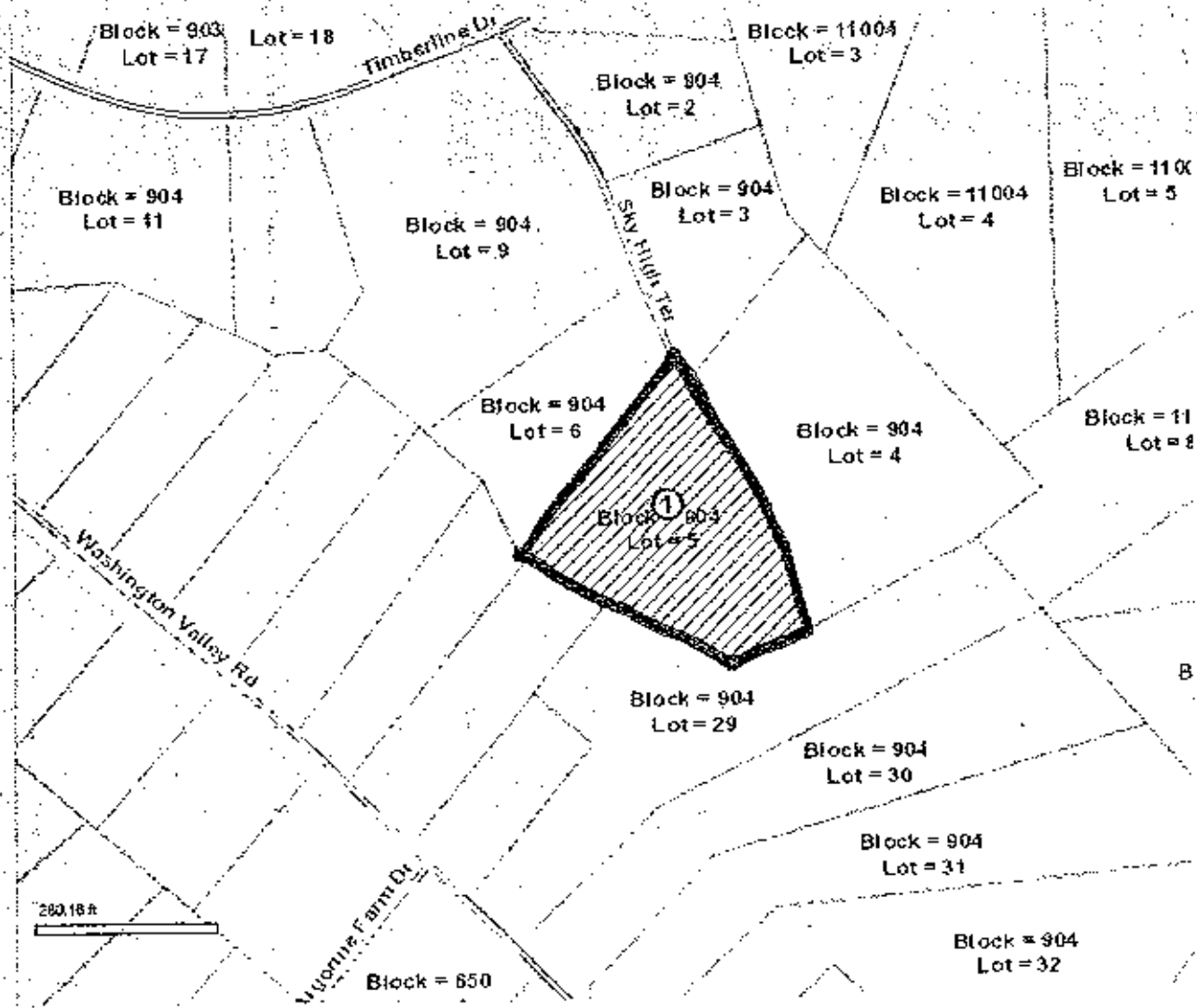


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**FIGURE #A3
GENERAL LOCATION
TAX MAP**

Data Source:

Municipal Tax Map
Bridgewater Township,
Somerset County,
New Jersey

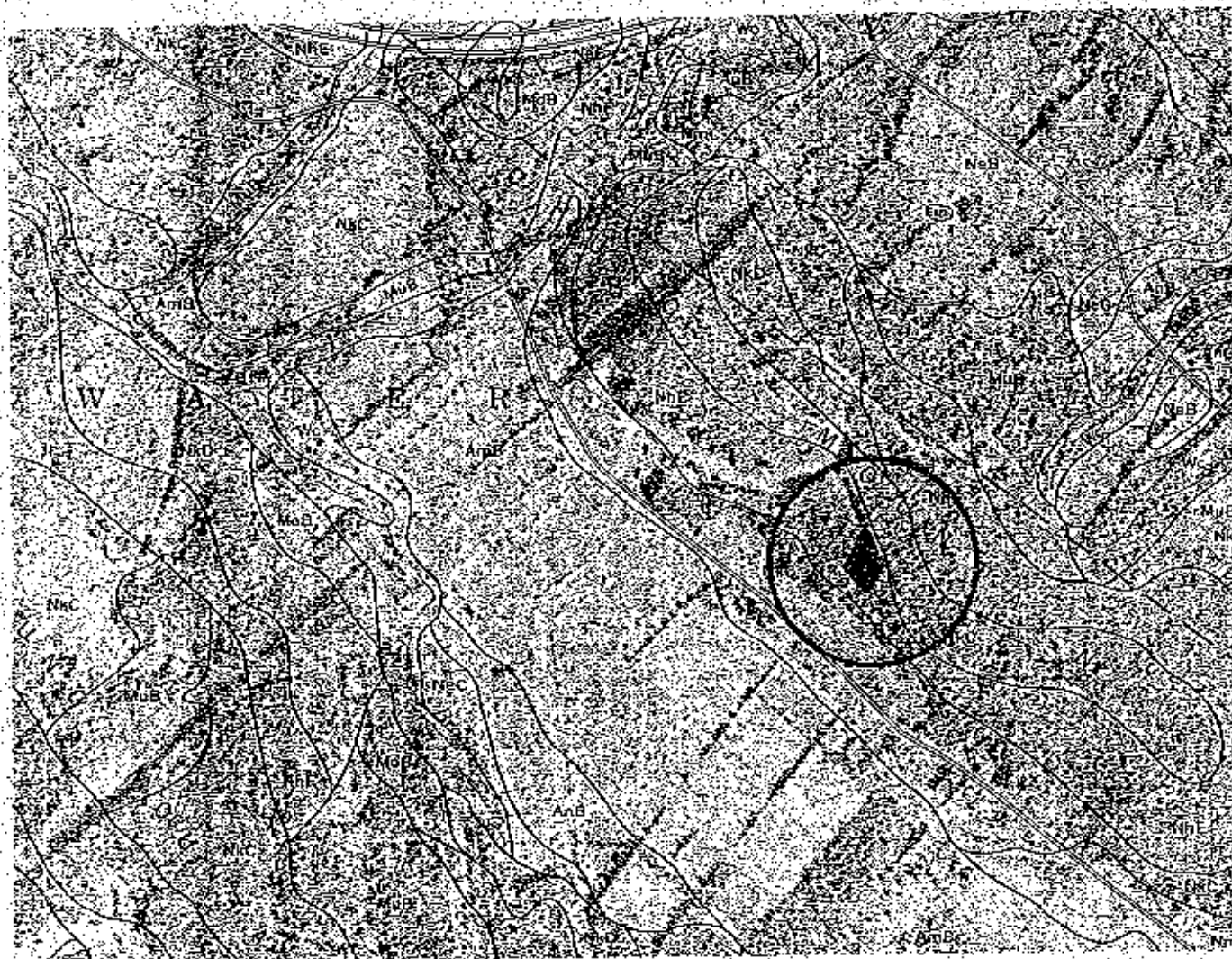


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Data Source:

Sheet #11 of the
Soil Survey of
Somerset County,
New Jersey
(USSCS)

Scale 1" = 1320'



315 Mountain View Drive
Kunkletown, PA 18058

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**FIGURE #A4
GENERAL LOCATION
SOILS MAP**

APPENDIX B

PHOTOGRAPHS OF THE PROJECT SITE

**EASTERN STATES
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PHOTOGRAPH #1

Upland forest habitat throughout the Property.

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PHOTOGRAPH #2

Upland forest habitat throughout the Property.

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PHOTOGRAPH #3

Upland forest habitat throughout the Property.

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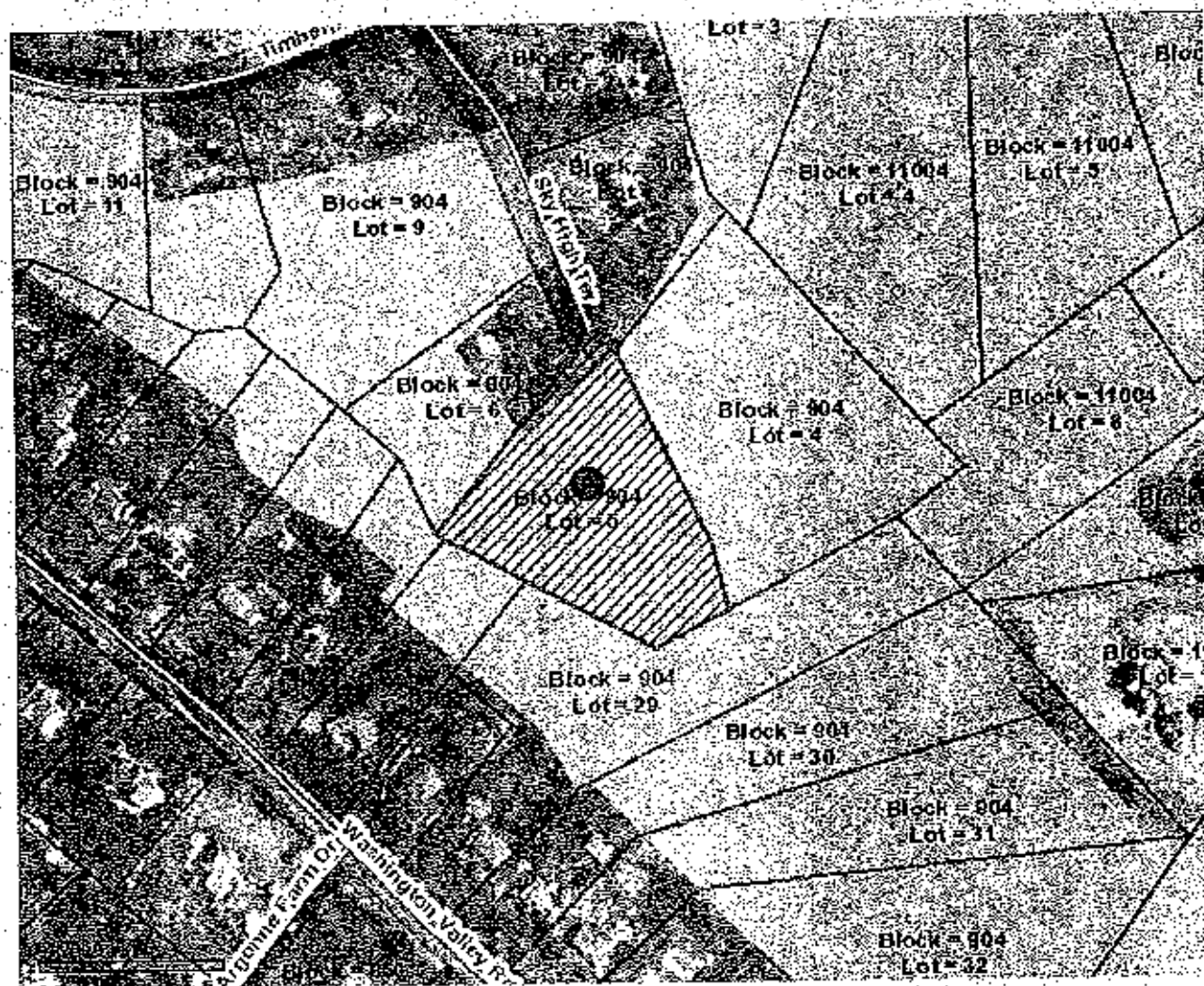
PHOTOGRAPH #4

Upland forest habitat throughout the Property.

APPENDIX C

NEW JERSEY NATURAL HERITAGE PROGRAM DATABASE REVIEW and LANDSCAPE PROJECT MAPPING

**EASTERN STATES
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Data Source:

NJ Geoweb,
Landscape Project
Version 3.3
Habitat Mapping



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**FIGURE #C1
LANDSCAPE PROJECT
MAPPING**

Attribute	Value
Link ID	844368
Rank	2
2012 Land Use Code	4120
2012 Land Use	DECIDUOUS FOREST (>50% CROWN CLOSURE)
2012 Land Use Cover Type	FOREST
Riparian	No
Forest Core	Yes
Grassland Minimum Size	No
Region	Skylands
Contact	NA
Version	Version 3.3
Acres	291.43959188
Hectares	117.94141842
Landscape 3.3 - Skylands Rank 1 Table	
Number of Forest Core Areas	3
Forest Core Area Index	20.88885325
Forest Core Hectares	114.70324798
Forest Core Acres	283.43789847
Contiguous Patch Edge to Area Ratio	0.00474310
Contiguous Patch Hectares	549.11223043
Contiguous Patch Acres	1,356.88587169
Contiguous Patch Dissolve ID	85933
Last Observation Year	2012
Rank	1
Description	Rank 1 Criteria
Habname	10 Hectare Core Forest
Landscape 3.3 - Skylands Species Table	

Flood Hazard Terrestrial Species of Concern	NA
Flood Hazard Critically Dependent	NA
Species Occurrence Area Count	1
Last Observation Year	2007
New Jersey Status	Special Concern
Federal Status	NA
Rank	2
Class	Aves
Feature Label	Breeding Sighting
Scientific Name	Hylocichla mustelina
Common Name	Wood Thrush

APPENDIX D

PROFESSIONAL CREDENTIALS

PRINCIPAL ECOLOGIST ASSIGNED TO THIS PROJECT:

Edward A. Kuc

Edward A. Kuc is a Natural Resource Ecologist by profession with areas of expertise including aquatic and terrestrial ecosystems, fisheries, wildlife (mammalian, avian, reptilian, amphibian), endangered wildlife and freshwater wetlands. Edward A. Kuc has conducted extensive research of these natural resources and has provided numerous Natural Resource Protection and Management Plans for federal, state and municipal environmental regulatory agencies as well as private enterprise.

Edward A. Kuc serves as Principal Environmental Specialist for Eastern States Environmental Associates, Inc. Responsibilities include the coordination, implementation and supervision of the many ecological inventory, assessment, management and mitigation projects undertaken by ESEA. Edward A. Kuc is extensively involved with regulatory compliance matters and serves as the chief representative of ESEA clients with regard to Federal, State and Municipal Environmental Permit Applications.

Prior to joining ESEA, Edward A. Kuc served as Supervisory Ecologist of a large New Jersey environmental consulting firm. Edward A. Kuc's responsibilities included the implementation and supervision of the natural resource inventories, impact assessment and management programs conducted by the organization. Edward A. Kuc was likewise responsible for the coordination and preparation of associated environmental documents and reports prepared by the organization.

Edward A. Kuc has served in the capacity of Fish and Wildlife Ecologist for the New Jersey Department of Environmental Protection, Division of Fish, Game and Wildlife. Edward A. Kuc was responsible for the collection and analysis of biological information pertaining to fishery population inventories, population reproduction, trout waters classification, fishery population introduction and population establishment, anadromous species migration and stream encroachment reviews. Edward A. Kuc was also responsible for the inventory, evaluation and habitat availability assessment of various wildlife species. Edward A. Kuc continued to be of service to the Division's Black Bear Project through the Wildlife Conservation Corps Program.

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Page 41.

Edward A. Kuc served as a Research Biologist for the U.S.D.A. Forest Service in Clearwater National Forest, Idaho, where he was responsible for various fish and wildlife research and management programs. Edward A. Kuc was responsible for analysis of stream condition, riparian habitat quality, sport fishing population and salmonid spawning area potential. Edward A. Kuc implemented various stream and riparian habitat enhancement projects. Edward A. Kuc performed various surveys to determine fish species density for impact evaluation of various land use activities. Edward A. Kuc was responsible for habitat evaluations and population analysis of various large-game and non-game wildlife species and was responsible for the determination of Mountain Goat population dynamics and distribution among seasonal ranges.

Edward A. Kuc possesses a Bachelor of Science Degree in Natural Resource Management from Rutgers University - Cook College. Edward A. Kuc is affiliated with many professional organizations including The Wildlife Society, The American Fisheries Society, Society of Wetland Scientists, The Audubon Society, Association of Urban Wildlife Managers, The National Wildlife Federation and The Nature Conservancy. Edward A. Kuc has served as the President of the New Jersey Chapter of the Wildlife Society. Edward A. Kuc is certified as a Professional Wetland Scientist by the Society of Wetland Scientists. Edward A. Kuc has authored numerous technical reports and articles and has conducted many presentations and seminars pertaining to various Natural Resource related topics.

ASSOCIATES AND TECHNICAL STAFF:

The Associates and Technical Staff of Eastern States Environmental Associates, Inc. consist of a select group of environmental specialists. This select group of Associates and Staff Biologists include highly experienced and recognized individuals in various specialties of environmental related consultation. The educational background of these individuals ranges from Bachelor to Doctorate degrees in environmental sciences.

Detailed qualifications of the Principals, Associates, and Technical Staff of ESEA are available upon request. Also available upon request is a list of clients and projects which will serve as professional references on behalf of ESEA.

BRIDGEWATER TOWNSHIP
SOMERSET COUNTY, NEW JERSEY

FORM # 3E

APPEAL OR VARIANCE APPLICATION ONLY
(NO SITE PLANS OR SUBDIVISIONS)

Board File Name: _____

Application #: _____ Date Received: _____

(Do not write above this line)

Check type of application:

_____ Appeal Zoning Officer's Decision _____ Interpretation _____ Other
☒ C- Variance (Bulk Variance) ☒ D-variance
 _____ Simple Variance Application (see attached qualifications)

- Applicant's name SKYMANOR Properties LLC
 Address 1 Cobble Ln., BASKING RIDGE, NJ 07920
 Phone #: 908-229-5014 Fax: 908-847-0330 Email: LAROSA@SKYMANOR.NET
- Name and address of present owner if other than above CYNTHIA KARNELL
 Address 101 E. LINCOLN PARK, Cranford, NJ 07016
 Email: psstcindy@aol.com Phone #: 908-642-7766 Fax: N/A
- Attorney's name John P. Belardo
 Address 1300 Mount Kemble Ave., P.O. Box 2075 Morristown, NJ
 Email: JBELARDO@MDMC-LAW.COM Phone: 973-425-8755 Fax: 973-425-0161 07962
- Plan Preparer/Engineer's name ROBERT GAZZALE / FISK ASSOCIATES
 Address 631 UNION AVE., MIDDLESEX, NJ 08846
 License No. PE/LS 35363 Email: FISKASSOCIATES@AOL.COM
 Phone # 732-356-9322 Fax: 732-356-6015
- The Property
 - BLOCK 904 LOT(S) 5
 - Street Address 5 SKY HIGH TERRACE
 - Zone in which property is presently located R-50
 - Is public water available to property? YES

- e) Is public water proposed YES
- f) Is public sanitary sewer available to property? YES
- g) Is public sanitary sewer proposed YES
- h) Does the owner or applicant own any contiguous property? No
- If so identify Block(s) _____; Lot(s) _____;
- Area _____ s.f.

6. Set forth the sections of the Land Use Ordinance from which relief is requested:

SECTION	PERMITTED	PROPOSED
<u>see variance and design waiver report</u>		

7. Has there been any previous appeal, request, or application to this or any other Township Boards regarding this property?

YES _____ NO _____

If YES, attached copy of resolution, letter of response and state the nature, date and disposition of said matter:

8. Fees submitted: Application fee: \$ _____ Escrow: \$ _____

9. If the application does not involve the use of the property or the expansion of a non-conforming use, set forth the exceptional conditions of the property preventing applicant from complying with Land Use Ordinance:

(Use separate sheet)

10. If the application involves the use of the property or the expansion of a non-conforming use, set forth the reason why the variance requested should be granted

(Use separate sheet)

11. Set forth the facts relied upon to demonstrate that the relief requested can be granted without substantial detriment to the public good and will not substantially impair the intent and purpose of the zone plan and Land Use Ordinance

(Use separate sheet)

12. Present use of existing buildings and premises: VACANT

13. Proposed use: RESIDENTIAL - SINGLE FAMILY

Lauri Lamm

(Applicant's Signature)

03-04-2020

(Date)

☐ Check Box if the application conforms to the requirements for
SIMPLE VARIANCE (Section 126-35F)
(See below for required checklist items)

[illegible]

1. **Twenty four (24) sets** of the Application Form, including this checklist, fee schedule with calculations, property deed and Plot Plans prepared by Licensed Surveyor or Architect.
All documents submitted must be collated into (24) sets.
(or you may choose the option below)
OPTION: You may choose to submit (3) full sets of documents for completeness review only. When the documents submitted comply with the submission requirements, we will notify you to submit the other (21) sets in order to be deemed complete. This option is made available to applicants in an effort to save resources expended on numerous plans that may need to be revised and resubmitted.
 2. Provide proof of distribution of full application including plans to the local Fire Department. You may contact the Fire Official to confirm correct Fire Department for your Block and Lot at (908) 725-6300 ext. 5555. List name and address you submitted to:
Fire Department: Martinsville Volunteer Fire Dept. St. 1
Address: 1920 Washington Valley Rd.
Martinsville, NJ 08836
 3. Legible, original survey signed and sealed by a Licensed Surveyor plus 24-copies.
 4. Scale not less than 1" = 50'
 5. North Arrow and graphic scale
 6. Lot lines with dimensions
 7. Size of Map should be in accordance with the Map Filling Laws
 8. Lot area in total square feet. (Lot area must not include area within existing or proposed right-of-way)
 9. Tax Block and Lot numbers of all properties abutting property and property across street
 10. Easements and Rights of Way (must attach copy of property deed)
 11. Location of streams or drainage ditches within 200', or note on plans that there are none
 12. Locations of all structures, trees, hedges, fences with dimensions to property lines. All trees as follows: Deciduous 12" dbh or greater; Non-Deciduous 8" dbh or greater; Dogwoods 4" dbh or greater
 13. Location of proposed structures or changes with dimensions from property lines
 14. Location and arrangement of parking areas and driveways within 100'
- Names and addresses of adjoining property owners and owners of property across the street

✓		15. Locations of all structures on all adjoining properties, including the dimensions to property lines
✓		16. Key map showing general location surrounding site, with all zoning districts within 200-ft of site. Scale is not to exceed 1"=800'
✓		17. Architectural plans including proposed elevations, dimensions, floor layout, square footage, and number of stories and façade signs.
✓		18. All fees must be paid. Application fee: \$ <u>500.00</u> Escrow Fee: \$ <u>6,000.00</u> (Fee Schedule with calculations must be submitted, including a signed W-9)
✓		19. Zone Chart showing zone requirements (existing, proposed and required) for all setbacks, impervious coverage, F.A.R., building coverage, building height and parking. Chart is to show what is provided. Graphic representations for setbacks are required.
✓		20. The signature block must be located directly above the title block in the lower right hand corner of the plans. Plans are considered folded correctly when the title block and signature block are visible without opening the plans. Full name and title of the chairman, secretary and engineer must be lettered on the plan immediately below the signature line.
✓		21. Certification from the Tax Collector that all taxes are current and paid (attach certification)
✓		22. <u>Consent by Owner form</u> : signed and notarized by owner even if the applicant is the owner
✓		23. Listing of 10% or greater of corporate or partnership stock
N/A		24. If the application involves a request for a Subdivision or Site Plan approval you must submit a copy of the full application packet to Somerville Borough and Raritan Borough and provide proof of submission/mailling.
✓		25. Environmental Impact Statement
✓		26. Stormwater Control Plan
✓		27. Hillside Development Calculations

X Louis L. L. L.
Signature of person preparing application

03-04-2020
Date

The applicant may request that one or more of the submission requirements be waived; however, the request must be in writing and state the reason for the waiver request. If the submission waiver is honored during completeness review, the Board still has the right to request the same information during the hearing process in addition to any other information they deem necessary for proper review of the application.

SIMPLE VARIANCE (126-35F):

If the application involves nothing more than the erection of a fence or shed on the property of a single- or two-family residence, construction of a swimming pool accessory to a single- or two-family residence, or construction of an addition to or an alteration of a single- or two-family residence not to exceed a total of 500 square feet.

Checklist requirements are abbreviated for simple variance applications:

- The applicant may use a certified land survey for providing necessary data, but all adjustments made to the survey must be in different color than the survey
 - Items in the above checklist which may be excluded: 24, 25, 26
-

NOTICE REQUIREMENTS:

The following proof of satisfying the notice requirements must be filed with the Land Use Administrator in the Planning Department a minimum of 48-hours prior to the hearing date:

1. Affidavit of Service.
2. Copy of the notice served.
3. Certified list of property owners within 200 feet and others served with manner of service
4. Certified Mail receipts stamped by the USPS
5. Affidavit of publication from the newspaper in which the notice was published.

FLOOR AREA RATIO (FAR) -- The aggregate of the net floor area, in square feet, of a building or group of buildings on a lot divided by the area, in square feet, of the lot. [Amended 5-1-2006 by Ord. No. 06-22]



THE TOWNSHIP OF BRIDGEWATER

100 COMMONS WAY / BRIDGEWATER, N.J. 08807
908/725-6300 / FAX # 908/429-0586
TDD 908/725-6300 / 908/722-4111

OFFICE OF ENGINEERING & ZONING

Name SKYMANOR PROPERTIES, LLC Address 5 SKY HIGH TERRACE
Block 904 Lot: 5 Zone: R-50

IMPROVED LOT COVERAGE CALCULATION WORKSHEET

FORMULA

Developable Area After Hillside
Development Ordinance Calculations/ Lot Area: 10,961 sf
TIMES-PERCENTAGE ALLOWED X 18 %

TOTAL LOT COVERAGE ALLOWED: = 1,973 sf

FOOTPRINT AREA OF HOUSE 1,737 sf
DRIVEWAY AREA (Including Existing Pavers) + 2,285 sf
SHED + 0 sf
WALKWAY(S) + 182 sf
DETACHED GARAGE + 0 sf
PATIO(S) + 294 sf
OTHER: WALLS, TIES, FIREPLACE + 472 sf
PROPOSED NEW IMPROVEMENT: _____ + _____ sf
Description Size

TOTAL LOT COVERAGE: = 4,970 sf
(MUST BE LESS THAN TOTAL COVERAGE ALLOWED)

IMPROVED LOT COVERAGE -- That portion of one lot or more than one lot which is improved or is proposed to be improved with principal and accessory buildings and structures, including driveways, parking lots, pedestrian walkways, signs and other man-made improvements on the ground surface which are more impervious than a natural surface. All building, gravel and/or other stone surfaces used for parking, driveways or walkways shall be counted as improved lot coverage. Stone patios shall be computed as part of the overall lot coverage. Decks (without roofs and with earth underneath and serving residential structures) and landscaping/decorative stone areas shall not be included in the determination of lot coverage or building coverage. However, such decks must meet all setback requirements for the principal building, whether or not the deck is attached to the principal building. In zones R-10A and R-10B, the setbacks for decks may be reduced to 10 feet from the rear property line. Swimming pools, as measured from interior wall to interior wall, shall not be counted toward improved lot coverage, nor shall children's play equipment. [Amended 4-4-2005 by Ord. No. 05-12]

VARIANCE AND DESIGN WAIVER REPORT**FORM # 4**

(SUBMIT WITH ALL APPLICATIONS)

APPLICANT NAME SKYMANOR PROPERTIES, LLC DATE 02/14/20ADDRESS 1 COBBLE LANE, BASKING RIDGE, NJ 07920PHONE #: 908-229-5014 FAX #: 908LOT(S) 5 BLOCK(S) 904CURRENT ZONING DISTRICT R-50TOTAL SQUARE FEET OF ALL STRUCTURES 1,737 s.f.

	Ordinance Requirement	Existing	Proposed	Variance Y or N
Improved Lot Coverage (all improvements)	<u>18 %</u>	<u>0.8 %</u>	<u>49.27 %</u>	<u>Y</u>
Floor Area Ratio (F.A.R.)	<u>0.16</u>	<u>0</u>	<u>0.2731</u>	<u>Y</u>
Lot Area	<u>50,000 SF</u>	<u>109,752 SF</u>	<u>109,752 SF</u>	<u>N</u>
Lot Width	<u>165 FT.</u>	<u>104.1 FT.</u>	<u>104.1 FT.</u>	<u>Y</u>
Side Yard (one)	<u>25 FT.</u>	<u>25 FT.</u>	<u>29.0 FT.</u>	<u>N</u>
Side Yard (total of both)	<u>70 FT.</u>	<u>70 FT.</u>	<u>87.5 FT.</u>	<u>N</u>
Front Yard	<u>75 FT.</u>	<u>75 FT.</u>	<u>80.8 FT.</u>	<u>N</u>
Rear Yard	<u>85 FT.</u>	<u>85 FT.</u>	<u>237.2 FT.</u>	<u>N</u>
Building height and number of stories	<u>2.5 STY/35 FT</u>	<u>N/A</u>	<u>2.5 STY/33.4 FT.</u>	<u>N</u>
Parking	<u>3</u>	<u>N/A</u>	<u>6</u>	<u>N</u>
ACCESSORY STRUCTURES				
Side yard	<u>25 FT.</u>	<u>25 FT.</u>	<u>N/A</u>	<u>N</u>
Rear yard	<u>25 FT.</u>	<u>25 FT.</u>	<u>N/A</u>	<u>N</u>
LIST OTHER VARIANCES (type)				
LIST ALL DESIGN WAIVERS				

RECOMMENDATION:

Attach letters and other supporting documentation that applicant attempted to purchase adjacent land to make lot conforming.


Provide evidence that Variance will not be detrimental to the neighborhood and adjacent residences such as documentation that variance conforms to existing conditions in the area

FORM # 1**BRIDGEWATER TOWNSHIP****CONSENT BY OWNER**

I, Cynthia Karren, am the owner of the property known as Block (s) 904, Lot (s) 5 as shown on the Tax Map of Bridgewater Township. I am aware of the application that is to be filed with the Planning Board or Zoning Board of Adjustment in Bridgewater Township and I consent to said application. I permit the Board, its staff or other designated officials to enter onto the property which is the subject of this application and review existing and proposed site and development elements.

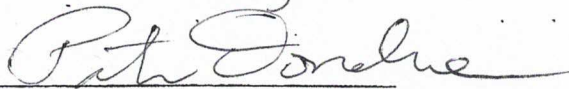
I further understand that there are fees that must be paid in accordance with said application. In the event that the applicant does not pay all of the appropriate fees including application and escrow fees as required for this application, I consent to have any unpaid balance placed as an added assessment against my property to be collected by the Tax Collector's office in due course.

(This form must be signed and notarized, even if the applicant is the owner)


Signature of Owner

Date: 1/17/2020

Sworn to and subscribed before me
this 17th day of January 2020



Notary Public

Patricia Donahue
NOTARY PUBLIC
STATE OF NEW JERSEY
MY COMMISSION EXPIRES DEC. 17, 2024

FORM # 2**DISCLOSURE STATEMENT FOR CORPORATIONS AND PARTNERSHIPS
APPLYING FOR SITE PLAN AND SUBDIVISION APPROVAL****CORPORATIONS:**

Please indicate the following with respect to the Corporation:

NAME Skymanor Properties LLCADDRESS OF PRINCIPAL OFFICE 1 Cobble Ln., BASKING RIDGE, NJ 07920REGISTERED AGENT: NAME Louis LarosaADDRESS 1 Cobble Ln., BASKING RIDGE, NJ 07920STATE OF INCORPORATION NJ

If other than New Jersey, is Corporation authorized to do business in New Jersey? _____

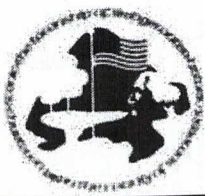
If so, when was authorization obtained? _____

List all stockholders controlling 10% or greater of stock: Louis Larosa

PARTNERSHIPS:

Please indicate the following with respect to the partnership:

TRADE NAME N/AADDRESS OF PRINCIPAL OFFICE N/ANAMES AND ADDRESSES OF PARTNERS N/A



township of bridgewater NEW JERSEY

OFFICE OF THE TAX COLLECTOR

100 COMMONS WAY /BRIDGEWATER, N.J. 08807
(908) 725-6300/ (908) 704-8337 FAX

March 6, 2020

LAGOUTTE, D & KARNELL, C CO-TRUSTEES
101 LINCOLN PARK E
CRANFORD, NJ 07016

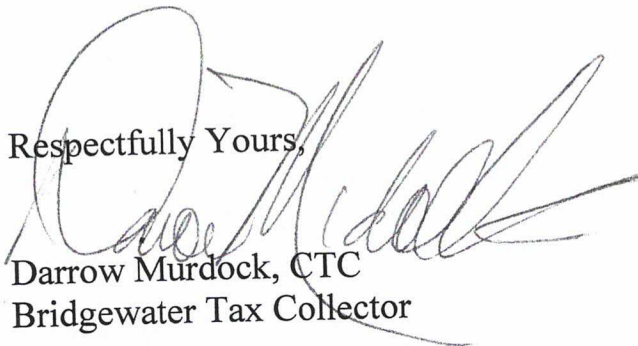
RE: CURRENT TAX STATUS
BLOCK- 904, LOT- 5
LOCATION: SKY HIGH TERRACE

To Whom It May Concern:

The above property taxes are current and paid through 2020 1st quarter.

If you have any further question, please contact me at (908) 725-6300
ext. 5145.

Respectfully Yours,


Darrow Murdock, CTC
Bridgewater Tax Collector

Skymanor Properties, LLC
Louis Larosa, Managing Member
1 Cobble Lane, Basking Ridge, NJ 07920
Cell: 908-229-5014 / E-Fax: 908-847-0330
Larosa@Skymanor.net

March 9, 2020

Fire Chief
Martinsville Volunteer Fire Dept. St.1
1920 Washington Valley Road
Martinsville, NJ 08836

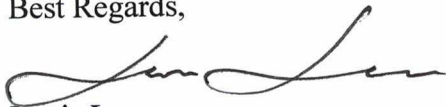
Re: Variance Application
Applicant: Skymanor Properties, LLC
Property Owner: Cynthia Karnell
Property: Block 904 Lot 5, Bridgewater Township

Dear Sir:

In accordance with the requirements of the Township of Bridgewater Zoning Board of Adjustment checklist for completeness, enclosed is a copy of our proposed variance plan, architect plan and application for your review. If you have any comments or concerns, please provide to the Township Zoning Board of Adjustment with a copy to the undersigned.

Thank you for your anticipated assistance. If you have any questions or need any additional information, please contact me.

Best Regards,



Louis Larosa
Managing Member for Skymanor Properties, LLC

BRIDGEWATER FEE SCHEDULE - VARIANCE, APPEALS, CONDITIONAL USE

VARIANCES - Each variance shall be computed.

	Application Charge	Application Fee Subtotal	Initial Escrow Fee *	Initial Escrow Fee	Initial Escrow Fee	Subtotal *
<input type="checkbox"/> A Appeals (NJSA 40:55D-70a)	\$100.00	\$	\$1,500.00	\$1,500.00	\$	\$
<input type="checkbox"/> B Interpretation (NJSA 40:55D-70b)	\$100.00	\$	\$1,500.00	\$1,500.00	\$	\$
<input checked="" type="checkbox"/> C Hardship/Bulk (NJSA 40:55D-70c)	\$250.00	\$ 250.00	\$3,000.00	\$3,000.00	\$ 3000.00	\$ 3000.00
<input checked="" type="checkbox"/> D Use (NJSA 40:55D-70d)	\$250.00	\$ 250.00	\$3,000.00	\$3,000.00	\$ 3000.00	\$ 3000.00
<input type="checkbox"/> E Permit (40:55D-34&35)	\$100.00	\$	\$1,000.00	\$1,000.00	\$	\$
<input type="checkbox"/> F SIMPLE VARIANCE	\$75.00	\$	\$350.00	\$350.00	\$	\$

Single & Two-Family Residences ONLY:

Addition/Alteration not to exceed 500 square feet:

For buildings, fence, shed, swimming pool and deck.

☐ APPEAL TO TOWNSHIP COUNCIL

\$250.00

None

\$

☐ CONDITIONAL USE

Determine whether to authorize

a Conditional use shall be made

by the Planning Board

\$350.00

\$

\$1,500.00

\$

Total for Application Fee

\$ 500.00

Total Initial Escrow*

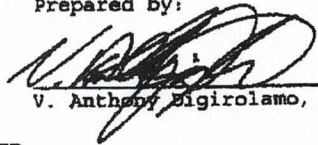
\$ 6,000.00

Payment is to be made in TWO checks. One check is to be identified as the APPLICATION FEE and the second check is to be identified as ESCROW ACCOUNT (must attach completed W-9 form)

* NOTE: Initial Escrow fee is the first deposit, fees may be greater than the initial payment based on the circumstances of the individual application, number of revisions, resubmissions etc.

DEED - Executor's or Administrator's (Covenant as to Grantor's Acts)
IND. OR CORP. - Plain Language

Prepared by:


V. Anthony Bigirolamo, Esq.

DEED

THIS DEED is made on December 3, 2011,

BETWEEN:

DANA LAGOUTTE, as Sole Personal Representative of the ESTATE OF
ROBERT KARNELL, deceased

whose address is 298 Francis Lane, Breinigsville, Pennsylvania 18031

referred to as the Grantor,

AND:

DANA LAGOUTTE and CYNTHIA KARNELL, as Co-Trustees of the CINDY
TRUST created under paragraph 3(a)(ii) of Article FOURTH of the
Last Will and Testament of Robert Karnell, dated January 6,
2005, as the same may be modified by the Agreement under Section
736.0412 Florida Statutes, regarding Trusts under the said Last
Will and Testament filed September 2, 2011, in the Circuit Court
for Sarasota County, Florida, Probate Division, File Number
2009-CP-020222 NC

whose post office addresses are 298 Francis Lane, Breinigsville,
Pennsylvania 18031 and 101 Lincoln Park East, Cranford, New Jersey
07016, respectively

referred to as the Grantee.

The words "Grantor" and "Grantee" shall mean all Grantors and all
Grantees listed above.

Grantor. The Grantor makes this Deed as the Personal
Representative of the Estate of Robert Karnell, late of the Town of
Longboat Key, County of Sarasota, and State of Florida.

Transfer of Ownership. The Grantor grants and conveys
(transfers ownership of) the property described below to the Grantee.
This transfer is made for the sum of One (\$1.00) Dollar.

The Grantor acknowledges receipt of this money.

Tax Map Reference. (N.J.S.A. 46:15-2.1) Municipality of
Bridgewater Township

Block No. 904 Lot No. 5 Account No.



No property tax identification number is available on the date
of this deed. (Check box if applicable.)

Property. The property consists of the land and all the
buildings and structures on the land in the Township of Bridgewater,
County of Somerset, and State of New Jersey. The legal description
is:

1A0674547.DOC/LEMLEY, BARBARA (BLEMLEY)1

BRETT A. BOOI COUNTY CLERK
2011 DEC 08 11:30 PM
INSTRUMENT # 2011055445



2011055445

6473 pg 1163
REC 12/8/2011

BEGINNING at a point in the southerly terminus of Sky High Terrace, said point being at the end of the following: BEGINNING at a point in the easterly sideline of Sky High Terrace, said point being the most southerly corner of Lot 64 in Block 5901 as shown on a filed map entitled "Timberline Section 3" as filed in the Somerset County Clerk's Office on September 18, 1969 as filed map No. 1269 and from said point running; thence (a) South 38 degrees 40 minutes 44 seconds West along the right-of-way line of Sky High Terrace a distance of 31.03 feet to the true Beginning point; said point also being in the centerline of an easement granted to Somerville Water Company (now Elizabethtown Water Company) by Samuel Wishnow and Frieda Wishnow, his wife, dated May 23, 1969 recorded June 10, 1969 in Deed Book 100 of the records in the Somerset County Clerk's Office and from said point running; thence (1) South 38 degrees 40 minutes 44 seconds West a distance of 386.02 feet to a point; thence (2) South 62 degrees 46 minutes 00 seconds East a distance of 380.07 feet to a point; thence (3) North 61 degrees 30 minutes 00 seconds East a distance of 134.25 feet to a point in the centerline of the aforementioned Somerville Water Company easement; thence along a new line through Lot 13-2 Block 5901 as shown on a filed map entitled "Timberline Section 3A, Block 5901 Lot 13 Bridgewater Township, Somerset County, N.J." filed in the Somerset County Clerk's Office on August 26, 1982 as Map No. 1975, North 07 degrees 35 minutes 41 seconds West a distance of 84.68 feet to an angle point; thence (4) continuing along a new line through Lot 13-2 Block 5901 as said above, North 31 degrees 52 minutes 39 seconds West a distance of 385.40 feet to a point in the right-of-way line of Sky High Terrace.

The above description is in accordance with a survey made by T & A Engineering, dated November 29, 1983, updated March 22, 1985.

Premises are commonly known as 1302 Sky High Terrace, Bridgewater, New Jersey.

Subject to restrictions and easements of record, if any, and zoning ordinances, and such facts as an accurate survey may disclose.

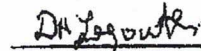
Being the same premises conveyed to Robert L. Karnell by Deed from The Karnell Group, a New Jersey Corporation, dated August 17, 1990 and recorded in the Somerset County Clerk's Office on October 29, 1990 in Deed Book 1795, page 158. The said Robert L. Karnell died on September 20, 2009, a resident of Sarasota County, Florida. His Last Will and Testament was admitted to probate on December 21, 2009 as Docket No. 2009-CP-020222 NC. Amended Letters of Administration were issued to Dana Lagoutte on August 18, 2010. Exemplified proceedings from the Sarasota County probate file were filed with the Somerset County Surrogate on November 12, 2010 as Docket No. 10-00266.

Promises by Grantor. The Grantor promises that the Grantor has done no act to encumber the property. This promise is called a "covenant as to grantor's acts" (N.J.S.A. 46:4-6). This promise means that the Grantor has not allowed anyone else to obtain any legal rights which affect the property (such as by making a mortgage or allowing a judgment to be entered against the Grantor).

Signatures. The Grantor signs this Deed as of the date at the top of the first page.

Witnessed by:


Justin R Gearheart


 (Seal)
DANA LAGOUTTE, as Sole Personal
Representative of the ESTATE OF
ROBERT KARNELL, deceased

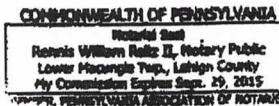
Commonwealth of
STATE OF PA, COUNTY OF Lefhigh ss.:

I CERTIFY that on December 3, 2011.

DANA LAGOUTTE, as Sole Personal Representative of the ESTATE OF
ROBERT KARNELL, deceased, personally came before me and acknowledged
under oath, to my satisfaction, that this person (or if more than
one, each person):

- (a) is named in and personally signed this Deed;
- (b) signed, sealed and delivered this Deed as his or
her act and deed; and
- (c) made this Deed for \$1.00 as the full and
actual consideration paid or to be paid for the
transfer of title. (Such consideration is defined
in N.J.S.A. 46:15-5.)





DEED

Dated: December 3, 2011

DANA LAGOUTTE, as Sole Personal
Representative of the ESTATE OF
ROBERT KARNELL, deceased

Grantor,

AND

DANA LAGOUTTE and CYNTHIA KARNELL,
As Co-Trustees of the CINDY TRUST
created under paragraph 3(a)(ii) of
Article FOURTH of the Last Will and
Testament of Robert Karnell, dated
January 6, 2005, as the same may be
modified by the Agreement under
Section 736.0412 Florida Statutes,
regarding Trusts under the said Last
Will and Testament filed September 2,
2011, in the Circuit Court for
Sarasota County, Florida, Probate
Division, File Number
2009-CP-020222 NC

Grantee.

Record and Return to:

V. Anthony Digirolamo, Esq.
DiFrancesco, Bateman, Coley,
Yospin, Kunzman, Davis & Lehrer, P.C.
15 Mountain Boulevard
Warren, NJ 07059

7
Our File No. C19569



BRETT A. RADI
SOMERSET COUNTY CLERK
20 GROVE STREET
P.O. BOX 3000
SOMERVILLE, NJ 08876-1262

Recorded: 12/08/2011 02:41:36 PM
Book: OPR 6473 Page: 1163-1169
Instrument No.: 2011055445
DEEDTRNS 7 PGS \$93.00

Recorder: HAJDUNEMET

DO NOT DISCARD



2011055445

IAW

10748

CONSERVATION AND FOOT TRAIL EASEMENT

COUNTY OF SOMERSET
CONSERVATION
HEALTHY TRAILS
DATE 10-7-82 BY [signature]

THIS DEED OF EASEMENT, is made this 27th day of September, 1982, by and between WASHINGTON VALLEY LIMITED, a Limited Partnership, located at 954 Papen Road, Bridgewater, Somerset County, New Jersey, hereinafter called Grantor; and TOWNSHIP OF BRIDGEWATER, a municipal corporation of the State of New Jersey, located at Municipal Building, 700 Garretson Road, Somerville, Somerset County, New Jersey, hereinafter called Grantee; and ELIZABETHTOWN WATER COMPANY, successor to the Somerville Water Company, located at One Elizabethtown Plaza, Elizabeth, Union County, New Jersey, hereinafter called the Water Company.

W I T N E S S E T H :

WHEREAS, the Grantor is the owner in fee simple of certain real property commonly known and designated on the Tax and Assessment Maps of the Township of Bridgewater, County of Somerset and State of New Jersey, as Lot 13-1, in Block 5901; and

WHEREAS, said property has scenic, natural and aesthetic value in its present state as a natural area which has not been subject to development or exploitation; and

WHEREAS, the Grantee and the County of Somerset are jointly engaged in the creation of the Second Watchung Mountain Open Space Trail System to establish conservation and foot trail areas; and

BOOK 1467 PAGE 254

REL 10/7/1982

WHEREAS, the Grantor has made application for and secured subdivision approval of Lot 13-1, in Block 5901, on the Tax and Assessment Maps of the Township of Bridgewater, from the Planning Board of the Township of Bridgewater, and, as an incident to said approval the Grantor desires to grant an easement for conservation and foot trails on a portion of said property as more particularly described hereinafter;

NOW, THEREFORE, in consideration of the sum of One (\$1.00) Dollar to the Grantor in hand paid, the receipt of which is hereby acknowledged, and in further consideration of the mutual covenants, terms, conditions, and restrictions hereinafter set forth, Grantor hereby grants and conveys unto the Grantee and its successors forever and in perpetuity an interest and conservation and foot trail easement of the nature and character and to the extent hereinafter set forth, in respect to the lands of the Grantor situated in the Township of Bridgewater, County of Somerset, State of New Jersey, more particularly described as follows:

BEGINNING at a point in the right-of-way of Sky High Terrace, said point being distant from the intersection of the northerly sideline of Sky High Terrace and the division line between "Timberline - Section 3" and Lot 13-1 and 13-2, S 38 degrees 40 minutes 44 seconds W a distance of 30.04' running thence (1) across Lot 13-2 S 31 degrees 52 minutes 39 seconds E a distance of 395.00' to an angle point; thence (2) still with same S 07 degrees 33 minutes 41 seconds E a distance of 76.16' to a point on the southeasterly line of Lot 13-2 said point being S 61 degrees 30 minutes W a distance of 115.75' from a concrete monument to be set on the corner common to Lots 13-1 and 13-2.

The foregoing describes the centerline of a 25' wide easement for conservation and foot trails (12.5' half width) granted to the Township of Bridgewater. Said centerline is also centerline of 10' wide easement to Elizabethtown Water Company.

The foot trail and conservation easement shall be located as set forth on a map filed or to be filed in the Office of the Somerset County Clerk.

The terms, conditions, and restrictions of the conservation and foot trails easement are as hereinafter set forth;

1. No building, billboard or advertising material, fence or other structure shall be erected on the property except as set forth in paragraph five.

2. There shall be no dumping of soil, trash, ashes, garbage, waste or other unsightly or offensive material.

3. There shall be no excavation, dredging or removal of loam, gravel, soil, rock, sand, or other material nor any building of roads or other change in the general topography of the land, excepting the maintenance of foot trails, except as set forth in paragraph five, and except that Grantee may install natural landscaping such as shrubs, flowers, and other plantings.

4. There shall be no removal, destruction, or cutting of trees, shrubs, or other vegetation except as may be necessary for (a) the maintenance of existing foot trails except for the purpose as set forth in paragraph five.

5. Notwithstanding anything contained herein to the contrary, the Grantor, its successors and assigns, hereby reserves

the right to construct a driveway over the herein described easement to service a dwelling which may be constructed in the future on said Lot 13-2.

6. There shall be no activities, actions, or uses detrimental or adverse to water conservation, erosion control, soil conservation, and fish and wildlife or habitat preservation except as set forth in paragraph five. The purpose of the foot trail described herein shall be to allow passage on foot or with animals, skis or non-motorized bicycles or vehicles. Motorized vehicles shall be permitted only for emergency service and security purposes.

7. The Grantee herein may, in its discretion, convey all the right, title, interest and obligation set forth herein to the County of Somerset and no further agreement or consent shall be required from the Grantor or the Water Company.

The Grantee, or its successor or assign, shall have the right to enter the property at all reasonable time for the purpose of inspecting said property to determine if the Grantor, or its representatives, successors or assigns, is complying with the terms, conditions, restrictions, and purposes of this conservation and foot trail easement.

The Grantor expressly reserves for itself, its representatives, successors and assigns, the right to continue the use of the property for all purposes not inconsistent with this conservation and foot trail easement.

This easement is given subject to and subordinate to the existing and continuing rights of the Water Company in and to a certain easement for the construction, laying, operation and maintenance of water mains, conduits and appurtenances through the following described property, which forms part of the conservation and foot trail easement herewith created. The easement to the Water Company was granted on March 10, 1969, and recorded on June 10, 1969 in Deed Book 1206, at page 100, in the Office of the Clerk of Somerset County, and is described as follows:

BEGINNING at a point in the right-of-way of Sky High Terrace, said point being distance from the intersection of the northerly sideline of Sky High Terrace and the division line between "Timberline - Section 3," and Lot 13-1 and 13-2; S 38 degrees 40 minutes 44 seconds W a distance of 30.04' running thence (1) across Lot 13-2 S 31 degrees 52 minutes 39 seconds E a distance of 395.00' to an angle point; thence (2) still with same S 07 degrees 33 minutes 41 seconds E a distance of 76.16' to a point on the southeasterly line of Lot 13-2 said point being S 61 degrees 30 minutes W a distance of 115.75' from a concrete monument to be set on the corner common to Lots 13-1 and 13-2.

The foregoing describes the centerline of a 10' wide easement (5' half width) granted to Elizabethtown Water Company.

The Water Company shall be held harmless from any liability arising from usage of its easement as a result of this grant.

TO HAVE AND TO HOLD unto the said TOWNSHIP OF BRIDGEMATER, Grantee, and WASHINGTON VALLEY LIMITED, a Limited Partnership, the Grantor, to the use of the Grantee, its successors and assigns forever. The covenants agreed to and the terms, conditions, restrictions, and purposes imposed as aforesaid shall not

only be binding upon the Grantor, but also its agents, representatives, and assigns, and all other successors to it in interest and shall continue as a servitude running in perpetuity with the above described land.

IN WITNESS WHEREOF, the Grantor and Grantee have hereunto set their hands and seals in the day and year above written.

WITNESS:

WASHINGTON VALLEY LIMITED, a
Limited Partnership

Angela H. Hildt

Thomas J. Cawley

WITNESS

ATTEST:

TOWNSHIP OF BRIDGEMAN

Bruce B. New

John P. New



ELIZABETHTOWN WATER COMPANY

John P. New Jr.
JOHN P. NEW JR. SECRETARY

Thomas J. Cawley
THOMAS J. CAWLEY V. PRESIDENT

State of New Jersey.

County of UNION

SE:

We it Rememered, that on this 15th day of September, 1982, before me,
the subscriber,

personally appeared JOHN KERR SR.

who, being by me duly sworn on his oath, deposes and makes proof to my satisfaction, that
he is the Secretary of ELIZABETHTOWN WATER COMPANY,
the Corporation named in the within Instrument;

that Thomas J. Cawley to the Vice
President of said Corporation; that the execution, as well as the making of this Instrument, has
been duly authorized by a proper resolution of the Board of Directors of the said Corporation; that
diponent well knows the corporate seal of said Corporation; and that the seal affixed to said
Instrument is the proper corporate seal and was thereto affixed and said Instrument signed and
delivered by said Vice President as and for the voluntary act and deed of said Corpora-
tion, in presence of diponent, who thereupon subscribed his name thereto as attesting witness,
and that the full and actual consideration paid or to be paid for the transfer of title to realty evidenced
by the within deed, as such consideration is defined in P.L. 1983, c. 49, Sec. 1(c), is \$ 1.00.



who, being by me duly sworn before me,
the Vice President,

JOHN KERR SR.
NOTARY PUBLIC OF NEW JERSEY
By Commission Expires December 18, 1983

JOHN KERR SR. Secretary

Prepared by: Edmund M. Konin, Esq.

Edmund M. Konin

State of New Jersey.

County of MIDDLESEX

SE:

We it Rememered, that on this 30th day of August 1982, before me,
the subscriber, An Attorney at Law of New Jersey

personally appeared IRWIN WISERSON, General Partner of Washington Valley Limited, a
Limited Partnership,

who, I am satisfied, is the person named in and who executed the within Instrument,
and thereupon he acknowledged that he signed, sealed and delivered the same as
his act and deed, for the uses and purposes therein expressed.

Angelo M. Dalto
Attorney at Law of New Jersey

Prepared by: Edmund M. Konin, Esq.

Edmund M. Konin

This Indenture,

BOOK 1201 PAGE 107

2725

Between

Samuel Wisniew
and

Frieda Wisniew, his wife
1340 Washington Valley Road



Borough of Somerville, County of
Somerset, and State of New Jersey, party of the first part.

Somerville Water Company

Incorporation of the State of New Jersey, with principal offices at No. One Elizabethtown Plaza
City of Elizabeth, County of
Union, and State of New Jersey, party of the second part.

Witnesseth:

That the party of the first part, in consideration of the sum of One thousand, Six hundred Dollars (\$1,600.00), lawful money of the United States of America, does grant and convey unto the party of the second part, its successors and assigns, a perpetual right of way and easement for the construction, laying, operation, maintenance of water mains, conduits and appurtenances through that certain tract of land described as being in the Township of Bridgewater County of Somerset and State of New Jersey:

Described as follows:

Following is a description of a strip of land ten feet in width, Lot 13, Block 5501, Bridgewater Township, Somerset County, New Jersey, located five (5) feet at right angles on each side of the strip centerline described below and extending from the northeasterly property line of lands N/F George T. and Rose L. Newman to a point in the southeasterly line of lands N/F James McCord (Timberline Section III).

Beginning at a point in the said northeasterly line of lands N/F George T. and Rose L. Newman, said point being distant 230 feet on a bearing of South 71°-50' West from an iron pipe marking the northeast corner of Lot 14, Block 5901 and from said beginning point running,-

- (1) North 20° West a distance of 230 feet to an angle point; thence,
- (2) North 37°-55' West a distance of 236 feet to a point in the southerly line of lands N/F James McCord (Timberline Section III), said point being distant 354.94 feet southeasterly from a wooden stake marking the northeast corner of lands of Wisniew, all as shown on a Sketch of Water Line Easement Lands of Samuel Wisniewski and/or Samuel Wisniew prepared by Baritan Valley Engineering, Somerville, New Jersey, dated March 3, 1969.

Book 1201 Page 108

It is expressly understood that the party of the first part may decide to use the surface of the land containing the above easement as a roadway together with other lands adjacent to it and that all structures, fixtures, appurtenances, equipment, pipes, mains, conduits, etc., which the party of the second part contemplates constructing in said easement shall be placed beneath the surface of said easement at a sufficient depth so that it will not interfere with the use of the said easement as a part of a public or private road if the first party decides to make it such, and in the event that the second party causes any damage to the roadbed, whether the same is in an unfinished or finished state, it will repair the same.

Together with the right of ingress and egress to and from the lands for the aforesaid purposes.

Subject, however, to the party of the first part reserving the right to the full use of the land not inconsistent with this Grant and Conveyance.

NOV 17 1951
15

APR 17 1951

15

15

15

15

BOOK 1201 PAGE 110

It is covenanted by the party of the first part that said party has the right to convey the said right of way and easement to the party of the second part and that said party is the true, lawful and right owner of all and singular the above described lands, and that the said lands at the time of the sealing and delivery of these presents are not encumbered by any mortgage, judgment, limitation or by any encumbrance whatsoever, by which the aforesaid right of way and easement hereby made, can or may be changed, charged, altered or defeated in any way whatsoever.

It is expressly agreed that the party of the second part may enter upon the above described lands for the purpose of erecting, installing, moving, removing, repairing, altering, maintaining or operating any structures, fixtures, appurtenances, equipment, pipes, mains, conduits or the like or for the purpose of maintaining such easement or right of way, without any prior notice being given to the party of the first part by the party of the second part and any and all such notice as is or may be required by any statute or law of the State of New Jersey or any other local or municipal ordinance is hereby waived by the party of the first part.

It is covenanted by the party of the second part that it will pay any damage which may arise to crops, fences or other property of the party of the first part by reason of the construction, laying, operation, maintenance of such water mains, conduits and appurtenances. If the amount of said damage is not mutually agreed upon by the parties hereto the damage shall be determined by three disinterested persons, one to be appointed by the party of the first part, one by the party of the second part, and the third by two persons aforesaid, and the amount so determined by the aforesaid three persons under oath shall be final and conclusive.

In Witness Whereof, the party of the first part has hereunto set hand and seal or caused these presents to be signed by its proper corporate officers and caused its proper corporate seal to be hereto affixed this 10th day of March, 1968.

Witness:

By:

Witness:

Samuel Wisniew (L.S.)
Samuel Wisniew

Frieda Wisniew (L.S.)
Frieda Wisniew

State of New Jersey, County of Hudson, 10th day of March, 1968, before me, the subscriber,

personally appeared Samuel Wisniew and

Frieda Wisniew, his wife who, I am satisfied, they are the persons named in and who executed the within Instrument, and thereupon they acknowledged that they signed, sealed and delivered the same as their act and deed, for the uses and purposes therein expressed, and that the full and actual consideration paid or to be paid for the transfer of title to realty evidenced by the within deed, as such consideration is defined in P.L. 1968, c. 40, Sec. 1 (c), is \$1,600.00 (One thousand, six hundred Dollars).

State of New Jersey, County of Hudson, 10th day of March, 1968, before me, the subscriber,

personally appeared

who, being by me duly sworn on oath, deposes and makes proof to my satisfaction, that he is the Secretary of the Corporation named in the within Instrument;

that President of said Corporation; that the execution, as well as the making of this Instrument, has been duly authorized by a proper resolution of the Board of Directors of the said Corporation; that deponent well knows the corporate seal of said Corporation; and that the seal affixed to said Instrument is the proper corporate seal and was thereto affixed and said Instrument signed and delivered by said President and for the voluntary act and deed of said Corporation.



2725

RIGHT OF WAY

and

EASEMENT AGREEMENT

Between Servus Klehner
and

Priscilla Michon, his wife
1340 Washington Valley Road
Somerville, New Jersey

For: Eridgrevator Typ.

And: Coveville later Jeremy
One Ellipse-Walton Hill
Elizabeth, New Jersey

Prepared by: Philip Francis
and William R. McLaughlin

RECORDED
SOMERSET COUNTY, N. J.

1961 12-06
1961 12-06 PAGE 107

DEED
J. R. DILSON
COUNTY CLERK

Revised & Reformed
William R. McLaughlin
Philip Francis
Elizabeth, N.J.

Sutton & Everett
COUNSELLORS-AT-LAW
40 WEST ORANGE STREET
SOMERSET, N.J.

RECORDED

Apr 2 11 46 AM '69

SOMERSET COUNTY
L. R. DILSON, CLERK

END OF DOCUMENT

\$ 254939.000011.75 CA

\$ 254939.000002.00 IF

\$ 254939.000002.00 CA

File with
11/5

This Indenture,

Between

Samuel Wishnow
and
Frieda Wishnow, his wife
1340 Washington Valley Road

Like Township of Bridgewater, County of
Somerset, and State of New Jersey, Grantors
And Somerville Water Company

corporation of the State of New Jersey, with principal offices at No. One Elizabethtown Plaza
in the City of Elizabeth,
County of Union, and State of New Jersey, Grantee.

Witnesseth:

That the Grantors, in consideration of the sum of One thousand, six hundred dollars.
(\$1,600.00)

lawful money of the United States of America, do grant and convey unto the Grantee, its successors and assigns, a perpetual right of way and easement for the construction, laying, operation, and maintenance of water mains, conduits and appurtenances through that certain tract of land described as being in the Township of Bridgewater, County of Somerset, and State of New Jersey:

Described as follows:

Following is a description of a strip of land ten feet in width, Lot 13, Block 5901, Bridgewater Township, Somerset County, New Jersey, located five (5) feet at right angles on each side of the strip centerline described below and extending from the easterly property line of Lot 13 Block 5901 to a point in the easterly line of lands of Timberline Section III.

BEGINNING at a point in the said easterly line of Lot 13 Block 5901, said point being distant 410.30 feet on a bearing of South 61°-30' West from an iron pipe marking the northeast corner of Lot 13 Block 5901 and from said beginning point running,-

(1) North 7°-33'-41" West a distance of 76.16 feet to an angle point; thence,

(2) North 31°-52'-39" West a distance of 395 feet to a point in the easterly line of Timberline Section III, said point being distant 289.11 feet southerly from an iron pipe marking the northwest corner of lands of Lot 13 Block 5901.

It is expressly understood that the party of the first part may decide to use the surface of the land containing the above easement as a roadway together with other lands adjacent to it and that all structures, fixtures, appurtenances, equipment, pipes, mains, conduits, etc., which the party of the second part contemplates constructing in said easement shall be placed beneath the surface of said easement at a sufficient depth so that it will not interfere with the

(Continued following page)

COUNTY OF SOMERSET
RECORDING
DATE 6/10/1969

DB 1206 pg 100

REC 6/10/1969

(Continued from previous page)

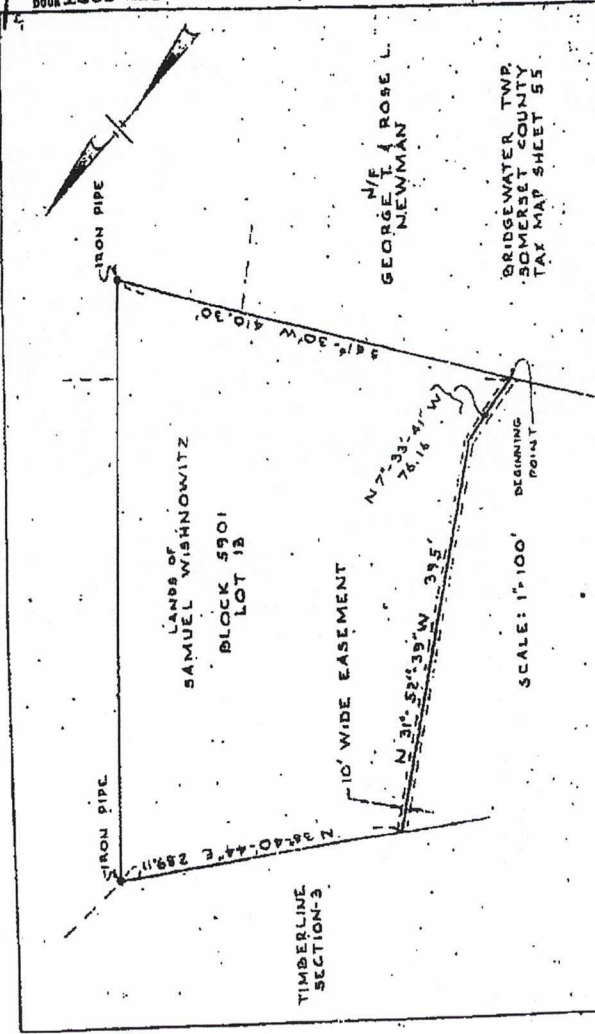
BOOK 1206 PAGE 101

use of the said easement as a part of a public or private road if the first party decides to make it such, and in the event that the second party causes any damage to the roadbed, whether the same is in an unfinished or finished state, it will repair the same.

This right of way and easement is a corrective right of way and easement given to correct the description in an easement between the parties hereto recorded on April 2, 1969 in Deed Book 1201, Page 107 in the office of the Clerk of Somerset County.

The above description shall supersede and replace the description used in the said previous right of way and easement.

CLERK OF SOMERSET COUNTY



SKETCH OF WATER LINE EASEMENT
 — LANDS OF —
 SAMUEL WISHNOWITZ
 PREPARED BY
 RABITAN VALLEY ENGINEERING
 APRIL 29, 1969 - 3627

PREPARED FOR:
 ELIZABETHTOWN WATER CO.

BRIDGEWATER TWP.
 SOMERSET COUNTY
 TAX MAP SHEET 55

N/E
 GEORGE T. & ROSE L.
 NEWMAN

TIMBERLINE
 SECTION-3

Together with the right of ingress and egress to and from the lands for the aforesaid purposes.

Subject, however, to the Grantors reserving the right to the full use of the land not inconsistent with the Grant.

To have and to hold the above described lands unto the said Grantee, its successors and assigns, for the aforesaid purposes.

Grantors expressly agree that Grantee may enter upon the lands for the aforesaid purposes without notice to Grantors.

It is covenanted by the Grantors that they have the right to convey the said right of way and easement to the Grantee and that they are the true, lawful and right owners of all and singular the above described lands, and that the said lands at the time of the sealing and delivery of these presents are not encumbered by any mortgage, judgment, limitation or by any encumbrance whatsoever, by which the aforesaid right of way and easement hereby made, can or may be changed, charged, altered or defeated in any way whatsoever.

It is covenanted by the Grantee that it will pay any damage which may arise to crops, fences or other property of the Grantors by reason of the construction, laying, operation, and maintenance of such mains, conduits and appurtenances. If the amount of said damage is not mutually agreed upon by the parties hereto the damage shall be determined by three disinterested persons, one to be appointed by the Grantors, one by the Grantee, and the third by the two persons aforesaid, and the amount so determined by the aforesaid three persons under oath shall be final and conclusive.

In all references herein to any parties, entities or corporations, the use of any particular gender or the plural or singular number is intended to include the appropriate gender or number as the text of the within instrument may require.

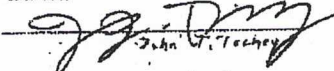
The agreements and covenants herein made shall be binding upon and the benefits shall inure to the parties hereto, their heirs, executors, administrators, personal or legal representatives, successors and assigns.

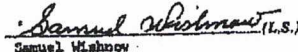
In Witness Whereof, the Grantors have set their hands and seals or caused these presents to be signed by its proper corporate officers and caused its proper corporate seal to be hereto affixed this 23rd day of 11.14.19 67.

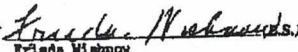
Witness:

By: _____

Witness:



 (L.S.)
Samuel L. Wisnow

 (L.S.)
Frieda Wisnow

This right of way had easement was prepared by:

State of New Jersey, County of _____

that on _____ 19____, before me, the subscriber, personally appeared _____, who, being by me duly sworn on _____ oath, deposes and makes proof to my satisfaction, that he is the Secretary of _____ the Corporation named in the within instrument;

that _____ is the President of said Corporation; that the execution, as well as the making of this instrument, has been duly authorized by a proper resolution of the Board of Directors of the said Corporation; that deponent well knows the corporate seal of said Corporation; and that the seal affixed to said instrument is the proper corporate seal and was thereto affixed and said instrument signed and delivered by said President as and for the voluntary act and deed of said Corporation, in presence of deponent, who thereupon subscribed his name thereto as attesting witness, and that the full and actual consideration paid or to be paid for the transfer of title is really exchanged by the within deed, as such consideration is defined in P.L. 1922, c. 40, Sec. 1(a), is _____

Sworn to and subscribed before me, the date aforesaid.

Notary Public

921

EASEMENT

THIS INDENTURE, made this 28th day of December, 1982, between

WASHINGTON VALLEY LIMITED, a Limited Partnership of the State of New Jersey, located at 954 Paper Road, Bridgewater Township, Somerset County, New Jersey, as "Grantor",

and

ROBERT L. KARNELL and JOAN KARNELL, his wife, residing at 138 Sycamore Avenue, Bridgewater Township, Somerset County, New Jersey, as "Grantee",

KNOW ALL MEN BY THESE PRESENTS, that the Grantor, in consideration of the sum of One (\$1.00) Dollar, to it in hand paid by the Grantee, does for itself, its successors and assigns, grant a perpetual easement and right-of-way to maintain a water line, together with other parts and equipment, in, upon and over a strip of land, lying and being in the Township of Bridgewater, County of Somerset, and State of New Jersey, described as follows:

BEGINNING at a point on the common line between Lots 13-1 and 13-2, Block 5901, Bridgewater, New Jersey. Said beginning point being distant the following two courses from the terminus of the southeasterly E.O.W. line of Sky High Terrace (50' wide) (1) S 38 degrees 40 minutes 44 seconds E along the terminating line of said road and northwesterly lot line of Lot 13-1, a distance of 27.37' to a common corner of Lots 13-1 and 13-2. Thence, (2) along a common line between said Lots S 41 degrees 04 minutes 48 seconds E, a distance of 147.31' to the beginning point. Thence, (1) along a common line between Lots 13-1 and 13-2 S 41 degrees 04 minutes 48 seconds E, a distance of 5.25' to a point. Thence (2) S 66 degrees 27 minutes 23 seconds W, a distance of 18.43' to a point. Thence, (3) N 23 degrees 32 minutes 37 seconds W, a distance of 5.00' to a point. Thence, (4) N 66 degrees 27 minutes 23 seconds E, a distance of 16.85' to the point and place of BEGINNING.

Containing 88.2 square feet of land, and being a 5' wide easement.

(The above description was prepared by T & A Engineering, Consulting Engineers, Land Surveyors, Piscataway, New Jersey, December 1982.)

BOOK 1472 PAGE 871

Rec 1/20/1983



AND, the said Grantor, its successors and assigns, do also give and grant to the Grantee, their heirs, executors and assigns, the perpetual right to enter upon said lands and premises for the purpose of maintaining, inspecting, repairing, cleaning, reconstructing and rebuilding said water facility.

The Grantor reserves to itself, its successors and assigns the right to utilize said easement area for all purposes not inconsistent with this easement. In no event, however, shall said right extend to the erection of any building or structure on the easement.

All work conducted by the Grantee shall be at their cost and expense and the Grantee shall, after a reasonable period, restore the surface of Grantor's land to good condition after any excavation relating to the repair, maintenance or installation of the water facility, or in performing any work thereon.

IN WITNESS WHEREOF, Grantor has hereunto set its hand and seal, or caused these presents to be signed by the proper corporate officers and the corporate seal affixed hereto, the day and year first above written.

WITNESSES:

Cathie Farmer

WASHINGTON VALLEY LIMITED
(A Limited Partnership of State of New Jersey)

Irwin Wisniewski
IRWIN WISNIEWSKI, General Partner

STATE OF NEW JERSEY)
COUNTY OF SOMERSET) SS:

I certify that on December 28th, 1982, IRWIN WISNIEWSKI, General Partner of WASHINGTON VALLEY LIMITED, personally came before me and acknowledged under oath, to my satisfaction, that he (a) is named in and

BOOK 1472 PAGE 872

personally signed the attached document; and (b) signed, sealed and delivered
this document as his act and deed.

Patricia D. Farmer

PATRICIA D. FARMER
NOTARY PUBLIC OF NEW JERSEY
My Commission Expires May 12, 1983



PREPARED BY:

Angelo H. Dalto
ANGELO H. DALTO, ESQ.

RECORDED

JAN 20 12 35 PM '83
SOMERSET COUNTY
L.R. OLSON, CLERK

11155

DEED

Prepared by: (Print signer's name below signature)

David A. Hendler
DAVID A. HENDLER, ESQ.

This Deed is made on May 23rd, 1985

BETWEEN

WASHINGTON VALLEY LIMITED, a Limited Partnership of
the State of New Jersey,

whose address is

1 East Cadillac Drive, Somerville, New Jersey
referred to as the Grantor.

AND

THE KARNELL GROUP, a New Jersey Corporation,

whose post office address is 44 Stalton Road, Piscataway, New Jersey 08854.

referred to as the Grantee.

The words "Grantor" and "Grantee" shall mean all Grantors and all Grantees listed above.

Transfer of Ownership. The Grantor grants and conveys (transfers ownership of) the property described below to the Grantee. This transfer is made for the sum of **EIGHTY-FIVE THOUSAND FIVE HUNDRED (\$85,500.00) DOLLARS**.

The Grantor acknowledges receipt of this money.

Tax Map Reference. (N.J.S.A. 46:15-2.1) Municipality of **Bridgewater**
Block No. **5901** Lot No. **13-2** Account No.
☐ No property tax identification number is available on the date of this deed. (Check box if applicable.)

Property. The property consists of the land and all the buildings and structures on the land in the County of _____ and State of New Jersey. The legal description is:

All that tract or parcel of land and premises, situate, lying and being in the Township of Bridgewater, in the County of Somerset and State of New Jersey, more particularly described as follows:

BEGINNING at a point in the southerly terminus of Sky High Terrace, said point being at the end of the following: **BEGINNING** at a point in the easterly sideline of Sky High Terrace, said point being the most southerly corner of Lot 64 in Block 5901 as shown on a filed map entitled "Timberline Section 3" as filed in the Somerset County Clerk's Office on September 18, 1969 as filed map No. 1269 and from said point running; thence (a) south 38 degrees 40 minutes 44 seconds west along the right-of-way line of Sky High Terrace a distance of 31.03 feet to the true Beginning point; said point also being in the centerline of an easement granted to Somerville Water Company (now Elizabethtown Water Company) by Samuel Wisniew and Frieda Wisniew, his wife, dated May 23, 1969 recorded June 10, 1969 in Deed Book page 100 of the records in the Somerset County Clerk's Office and from said point running; then (1) south 38 degrees 40 minutes 44 seconds west a distance of 386.02 feet to a point; thence (2) south 62 degrees 46 minutes 00 seconds east a distance of 380.07 feet to a point; thence (3) north 61 degrees 30 minutes 00 seconds east a distance of 134.25 feet to a point in the centerline of the aforementioned Somerville Water Company easement; thence along a new line through Lot 13-2 Block 5901 as shown on a filed map entitled "Timberline Section 3A, Block 5901 Lot 13 Bridgewater Township, Somerset County, N.J." filed in the Somerset County Clerk's Office on August 26, 1982 as Map No. 1975, north 07 degrees 35 minutes 41 seconds west a distance of 84.68 feet to an angle point; thence (4) continuing along a new line through Lot 13-2 Block 5901 as said above, north 31 degrees 52 minutes 39 seconds west a distance of 385.40 feet to a point in the right-of-way line of Sky High Terrace.

The above description is in accordance with a survey made by T & A Engineering, dated November 29, 1983, updated March 22, 1985.

REC-1540 PAGE 563

Rec 5/24/1985

COUNTY OF SOMERSET
CONSIDERATION \$85,500.00
WALLY VERNER, JR. 5/24/85
DATE 5-24-85 BY W.V.

BEING a part of the same premises conveyed to the Grantor herein by Deed of Argonne View Estates Corp., dated April 23, 1973 and recorded in the Office of the Clerk of Somerset County in Book 1279 of Deeds at page 414.

"The within conveyance is made subject to zoning ordinances, easements and restrictions of record, if any, and such state of facts as an accurate survey and inspection of the property will reveal."

This deed is given to show the minor subdivision of Lot 13-2 in Block 5901 as described on the Tax Map of the Township of Bridgewater, Somerset County, New Jersey, into two lots, one of which is described herein. The minor subdivision was approved by Resolution of the Planning Board of the Township of Bridgewater, New Jersey on November 27, 1984.

Said Planning Board consents to the filing of this deed pursuant to N.J.S.A. 40:55D-47 by the signing of this deed by its Chairman and Secretary.

Consent to the filing of this deed pursuant to N.J.S.A. 40:55D-47 is hereby given:

PLANNING BOARD OF BRIDGEWATER TWP. OF N.J.

By: John P. Manning Chairman

By: Myra Strausfeld Secretary

Promised by Grantor. The Grantor promises that the Grantor has done no act to encumber the property. This promise is called a "covenant as to grantor's acts" (N.J.S.A. 46:4-6). This promise means that the Grantor has not allowed anyone else to obtain any legal rights which affect the property (such as by making a mortgage or allowing a judgment) to be entered against the Grantor.

Signatures. The Grantor signs this Deed as of the date at the top of the first page.

Witnessed by:

David A. Hendler
DAVID A. HENDLER

WASHINGTON VALLEY LIMITED (Seal)
(A Limited Partnership of the State of N.J.)
By: Irwin Wishnow (Seal)
Irwin Wishnow, General Partner

RECORDED

MAY 24 12 09 PM '85

SUMMIT COUNTY
L.R. OLSON, CLERK

STATE OF NEW JERSEY, COUNTY OF MIDDLESEX

I CERTIFY that on May 23rd, 1985.

Irwin Wishnow, General Partner of Washington Valley Limited, a Limited Partnership of the State of New Jersey, personally came before me and acknowledged under oath, to my satisfaction, that this person (or if more than one, each person):

- (a) is named in and personally signed this Deed;
- (b) signed, sealed and delivered this Deed as his or her act and deed; and
- (c) made this Deed for \$85,500.00 as the full and actual consideration paid or to be paid for the transfer of title. (Such consideration is defined in N.J.S.A. 46:15-5.)

David A. Hendler
(Print name and title below signature)
DAVID A. HENDLER, an Attorney at Law
of the State of New Jersey